



**ZONING BOARD OF APPEALS - REGULAR SESSION
GOVERNMENT CENTER CHAMBERS, 4TH FLOOR, ROOM #400
115 E. WASHINGTON STREET, BLOOMINGTON, IL 61701
WEDNESDAY, MAY 15, 2024, 4:00 PM**

1. Call to Order

2. Roll Call

3. Public Comment

Individuals wishing to provide emailed public comment must email comments to publiccomment@cityblm.org at least 15 minutes before the start of the meeting. Individuals wishing to speak in-person may register at cityblm.org/register at least 5 minutes before the start of the meeting.

4. Consent Agenda

Items listed on the Consent Agenda are approved with one motion; Items pulled from the Consent Agenda for discussion are listed and voted on separately.

- A. Review and approval of the minutes of the April 17, 2024, regular meeting of the Bloomington Zoning Board of Appeals. (Recommended Motion: Motion to accept the minutes, as presented.)

5. Regular Agenda

- A. SP-03-24 & V-04-24 - Public hearing, review, and action on a request submitted by Andrew Fell Architecture & Design, representing owner Curtis Boone, for approval of a **Special Use Permit** for an Assisted Living Facility (Independent Living), in the B-1 (General Commercial) District, and a **Variance** from §503A of the Zoning Code for increased allowable Floor Area Ratio (FAR), for the property located at 1410 Leslie Drive. (PIN: 15-31-227-024). (Recommended Motion: Motion to establish findings of fact that all **standards for approval of a Special Use Permit are met**, and to **recommend approval of the request with the Condition that interior and perimeter parking lot requirements are met, per Code requirements; Motion to establish findings of fact that all standards for approval of a Variance are met, carrying out the strict letter of the Code does create a practical difficulty or particular hardship for the Applicant, and to approve the request as submitted.**)

6. New Business

7. Adjournment

Individuals with disabilities planning to attend the meeting who require reasonable accommodations to observe and/or participate, or who have questions about the accessibility of the meeting, should contact the City's ADA Coordinator at 309-434-2468 or mhurt@cityblm.org.



REGULAR AGENDA ITEM NO. 4.A.

FOR ZONING BOARD OF APPEALS: May 15, 2024

WARD IMPACTED: City-Wide Impact

SUBJECT: Review and approval of the minutes of the April 17, 2024, regular meeting of the Bloomington Zoning Board of Appeals.

RECOMMENDED MOTION: Motion to accept the minutes, as presented.

STRATEGIC PLAN LINK:

Goal 1. Financially Sound City Providing Quality Basic Services

STRATEGIC PLAN SIGNIFICANCE:

Objective 1c. Engaged residents that are well informed and involved in an open governance process

BACKGROUND: N/A

COMMUNITY GROUPS/INTERESTED PERSONS CONTACTED: N/A

FINANCIAL IMPACT: N/A

Respectfully submitted for consideration.

Prepared by: Jon Branham

ATTACHMENTS:

[ZBA Minutes - 2024-04-17.docx](#)



**DRAFT MINUTES
ZONING BOARD OF APPEALS - REGULAR SESSION
WEDNESDAY, APRIL 17, 2024, 4:00 PM**

The Zoning Board of Appeals convened in regular session at 4:02 PM, April 17, 2024. called the meeting to order.

Roll Call

Attendee Name	Title	Status
Terry Ballantini	Vice Board Chair	Present
Michael Straza	Board Chair	Present
Ross Webb	Board Member	Present
Tim Foley	Board Member	Absent
Zachary Zwaga	Board Member	Present
Nikki Williams	Board Member	Present
Victoria Harris	Board Member	Absent

City Staff present included Jon Branham, City Planner; Alissa Pemberton, City Planner; Kelly Pfeifer, Assistant Director of Economic and Community Development; John Myers, Assistant City Planner, and George Boyle, Assistant Corporation Counsel.

Public Comment

No public comment was provided.

Consent Agenda

Items listed on the Consent Agenda are approved with one motion; Items pulled from the Consent Agenda for discussion are listed and voted on separately.

Vice Board Chair Ballantini made a motion, seconded by Board Member Webb, to approve the consent agenda as presented.

Roll call.

AYES: Board Chair Straza; Vice Board Chair Ballantini; Board Member Webb; Board Member Williams; Board Member Zwaga

Motion passed.

Item 4.A. Review and approval of the minutes of the March 20, 2024, regular meeting of the Bloomington Zoning Board of Appeals.

Regular Agenda

The following item was presented:

Item 5.A. V-03-24 - Public hearing, review, and action on a request submitted by Mark Fetzer, for approval of Variances to allow a reduced required Side Yard setback for the properties located at 6 Eric Court and 8 Eric Court (PINs: 21-19-202-012 and 21-19-202-011).

Mr. Myers presented the staff report with a recommendation for approval of a Variances to the Side Yard requirements. He described the proposed properties and structures and identified the surrounding zoning and land uses. He noted the history of the properties and the similarities with other recent Variances cases which were approved in the same development due to updates to the Zoning Code.

Board Chair Straza opened the public hearing.

Mark Fetzer (1305 Winterberry Circle), Applicant, provided further background on the project. He agreed with staff's summary and expressed thanks to staff. He inquired if there were any additional questions.

Board Chair Straza closed the public hearing.

Mr. Myers reviewed the findings of facts required for a variance.

There was no further Board questions or discussion.

Vice Board Chair Ballantini made a motion, seconded by Board Member Zwaga, to establish findings of fact that the standards for approval of the Variances are met, that carrying out the strict letter of the Code does create a practical difficulty or particular hardship for the petitioner, and to approve the Variances with no conditions.

Roll call.

AYES: Board Chair Straza; Vice Board Chair Ballantini; Board Member Webb; Board Member Williams; Board Member Zwaga

Motion passed.

New Business

There was no new business.

Adjournment

Chair Straza made a motion, seconded by Board Member Zwaga, to adjourn the meeting.

AYES: Board Chair Straza; Vice Board Chair Ballantini; Board Member Webb; Board Member Williams; Board Member Zwaga

Motion passed.

The Meeting Adjourned at 4:11PM

CITY OF BLOOMINGTON

Michael Straza, Board Chair

Jon Branham, Staff Liaison

DRAFT



REGULAR AGENDA ITEM NO. 5.A.

FOR ZONING BOARD OF APPEALS: May 15, 2024

WARD IMPACTED: Ward 3

SUBJECT: SP-03-24 & V-04-24 - Public hearing, review, and action on a request submitted by Andrew Fell Architecture & Design, representing owner Curtis Boone, for approval of a **Special Use Permit** for an Assisted Living Facility (Independent Living), in the B-1 (General Commercial) District, and a **Variance** from §503A of the Zoning Code for increased allowable Floor Area Ratio (FAR), for the property located at 1410 Leslie Drive. (PIN: 15-31-227-024).

RECOMMENDED MOTION: Motion to establish findings of fact that all **standards for approval** of a Special Use Permit **are met**, and to **recommend approval** of the request with the Condition that interior and perimeter parking lot requirements are met, per Code requirements; Motion to establish findings of fact that all standards for approval of a Variance are met, carrying out the strict letter of the Code **does create a practical difficulty** or particular hardship for the Applicant, and to **approve the request** as submitted.

STRATEGIC PLAN LINK:

Goal 5. Great Place - Livable, Sustainable City

Goal 3. Grow the Local Economy

STRATEGIC PLAN SIGNIFICANCE:

Objective 5b. City decisions consistent with plans and policies

Objective 3a. Retention and growth of current local businesses

BACKGROUND: The Applicant seeks a Special Use Permit to allow an Assisted Living Facility (Independent Living) in the B-1 (General Commercial) District, per § 44-503A and a Variance to allow an increased allowable Floor Area Ratio (FAR) of 0.88, instead of the allowable 0.8.

- No waivers of Use Provisions are requested. The Variance request is separate from Use Provisions.
- The facility would include a total of 63-units within a four-story building.
- The Applicant proposes to occupy currently vacant property.
- Vehicular access will be provided via an existing curb cut associated with the healthcare facility located directly to the south.
- A total of 46 parking spaces are provided, including four accessible spaces.

Per § 44-1707F, "If any variations to the regulations of this code would otherwise be necessary for the development proposal, such review procedure shall be deemed to occur simultaneously with the Zoning Board of Appeals' public hearing and recommendation on the special use permit application."

COMMUNITY GROUPS/INTERESTED PERSONS CONTACTED: Notice was published in The Pantagraph on Tuesday, April 30, 2024. Courtesy notices were mailed to 11 property owners within 500 feet of the subject property.

FINANCIAL IMPACT: Growth of local tax base.

Respectfully submitted for consideration.

Prepared by: Jon Branham

ATTACHMENTS:

[SP-03-24_-_1410_Leslie_Dr_-_FINAL.docx](#)

[SP-03-24 - 1410 Leslie Dr - Permit Drawings \(inc Site Plan\)](#)

[SP-03-24 - 1410 Leslie Dr - Landscape Plan](#)

[SP-03-24 - 1410 Leslie Dr - Rendering 1](#)

[SP-03-24 - 1410 Leslie Dr - Rendering 2](#)

TO: ZONING BOARD OF APPEALS

FROM: Economic & Community Development Department

DATE: May 15, 2024

CASE NO: SP-02-24, Special Use Permit for Assisted Living Facility (Independent Living) and V-04-24, from § 44-503A of the Zoning Code

REQUEST: Public hearing, review, and action on a petition submitted by Andrew Fell Architecture & Design, representing owner Curtis Boone, requesting approval of a Special Use Permit for an Assisted Living Facility in the B-1 (General Commercial) District, and a Variance from § 44-503A of the Zoning Code, to allow an increased allowable Floor Area Ratio (FAR), for the property located at 1410 Leslie Drive. PIN: 15-31-227-024.

BACKGROUND

Request:

The Applicant seeks a Special Use Permit to allow an Assisted Living Facility (Independent Living) in the B-1 (General Commercial) District, per § 44-502B which indicates Assisted Living Facilities may be permitted as Special Uses in the B-1 District. No waivers to Use Provisions are requested. The Applicant proposes to construct a 63-unit, four-story facility at the property with associated parking (46 spaces). The facility would contain a total of 91 beds. Interior and perimeter parking lot landscaping should be provided. Appropriate stormwater detention will be provided. A direct pedestrian connect to the public sidewalk and bicycle parking have been provided.

The Applicant also seeks a Variance § 44-503A of the Zoning Code, to allow an increased allowable Floor Area Ratio (FAR) of 0.88, instead of the permitted 0.80 in the B-1 District.

Notice:

The application was filed in conformance with applicable procedural and public notice requirements. Notice was published in *The Pantagraph* on Tuesday, April 30, 2024. Courtesy notices were mailed to 11 property owners within 500 feet of the subject property.

ANALYSIS

Property Characteristics:

The subject property consists of 1.93 acres of property located at 1410 Leslie Drive. The property was recently subdivided and separated from the property to the south. Those properties are now under separate ownership. Surrounding properties contain a mix of commercial uses.

Surrounding Zoning and Land Uses:

	Zoning	Land Uses
North	B-1 (General Commercial)	Community Center

South	B-1 (General Commercial)	Assisted Living Facility
East	B-1 (General Commercial)	Hotel
West	B-1 (General Commercial)	Education (Pre-School)

Description of Current Zoning District:

The B-1 (General Commercial) District is intended to facilitate the development of community and regional commercial areas. Customers in this district will generally use a motor vehicle to reach a desired establishment. The development contemplated in this district has such distinguishing characteristics as unified site planning and development that promotes a safe and conducive atmosphere for large volumes of shoppers; site accessibility such that the high volumes of traffic generated create minimal congestion and adverse impact upon surrounding land use; and unified architectural treatment of buildings rather than an assemblage of separate, conflicting store and structural types. (§ 44-501A).

Subject Code Requirements:

§ 44-502B, “Allowed Uses Table” indicates Assisted Living Facilities permitted as a Special Use in the B-1 District.

§ 44-1019, Group Living Facilities, Boarding and Rooming Houses, Homes for the Aged Use Provisions.

§ 44-503 (Table 503A)

Table 503A: Bulk and Site Standards B-1, B-2 and C-1 Districts								
District	Lot Characteristics		Site Design			Development Intensity		
	Minimum Lot Width	Minimum Lot Area	Front Yard	Side Yard	Rear Yard	Floor Area Ratio	Maximum Building Height	
	(W)	(square feet)	(F) Min.	(S) Min.	(R) Min.	(FAR)	Feet	Stories
B-1	—	—	—	Minimum 5 feet or 1/3 of building height for buildings > 3 stories		0.8		

STANDARDS FOR REVIEW - SPECIAL USE PERMIT

The Zoning Board of Appeals (ZBA) shall hold at least one public hearing on any proposed Special Use and report to the Council its findings of fact and recommendations. Recommendations shall be made upon the determination that the Special Use meets all of the Standards of Approval listed in § 44-1707H and discussed below.

Special Use Permit for Assisted Living Facility in the B-1 (General Commercial) District.

1. The establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort, or general welfare.

The establishment, maintenance, and operation of an Assisted Living Facility (Independent Living) is appropriate for this location and will not be detrimental to the public health, safety, comfort, or general welfare of the other surrounding uses. The facility will provide needed health services to the community and is located adjacent to a similar and shared facility. Standard is met.

2. The Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The designation on the City's Future Land Use Map for this area is "Employment Center"; the proposed Special Use would not have a negative impact on other uses appropriate for within that designation. The establishment of the facility at this location would not be injurious to the use and enjoyment of other property in the immediate vicinity as it would seemingly blend well, particularly with the facility to the south. The proposed Special Use can be expected to maintain property values within the neighborhood by ensuring active occupancy and maintenance of the property. Standard is met.

3. **The establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district.**

The proposed use is consistent with the character of other uses in the area. A healthcare facility with memory care is located directly to the south of the site on Leslie Drive. The property is completed surrounded by B-1 zoning and other compatible commercial uses are located near the proposed facility. Standard is met.

4. **Adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided.**

City water and sewer are already available to the property, roadway and sidewalk access is existing. Standard is met.

5. **Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

Ingress and egress are proposed to be provided by an existing curb cut along Leslie Drive which serves the property to the south. Access easements will need to be established. Parking standards on the surface lot proposed at the site are adequate and meet Code requirements (One space per two beds). Standard is met.

6. **The Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may be modified by the Council pursuant to the recommendations of the Board of Zoning Appeals.**

The proposed Assisted Living Facility use meets all the bulk and site standards for the District except for the Floor Area Ratio, which would be addressed with a minimal Variance request. No waivers to the additional Use Provisions are requested or provided as part of this Special Use Permit. Standard is met.

STANDARDS FOR REVIEW - VARIANCE

As indicated in *Ch. 44, 17-8 Variations*, the Zoning Board of Appeals shall have the power to authorize Variations to this Code where there would be practical difficulties or particular hardships in carrying out the strict letter of those sections of this Code stated herein.

1. **That the property has physical characteristics that pose unreasonable challenges which make strict adherence to the Code difficult.**

The project was originally conceived and designed with both the subject property and the adjacent southern property together as a unified development. The subdivision of the properties (approved by City Council on 10-10-2022) essentially created the variance request. Alternatives such as increasing land area by replatting or reducing building size were examined but ultimately considered impractical and costly. There is not available adjacent land for sale, and redesigning the project would require significant alterations and jeopardize project viability. Standard is met.

2. That the Variance would be the minimum action necessary to afford relief to the applicant.

The Variance would allow for the development of the property with a suitable and compatible facility for the area and the variance request minimally exceeds the FAR requirement (less than 10% above the requirement). The subject property and adjacent southern property are owned by different entities and recombining the properties is not an option. Standard is met.

3. That the special conditions and circumstances were not created by any action of the applicant.

The Applicant did not create any special conditions or circumstances. The Applicant responded with the variance request following the property line adjustments and realization that although the totality of the development would be well under at 0.47 FAR, the project was over the required FAR for this northern lot. Standard is met.

4. That granting the variation request will not give the applicant any special privilege that is denied to others by the Code.

No special privileges would be granted to the applicant under these circumstances. Granting allows the Applicant to make continued reasonable use of their property and the continuation of the same square footage of the originally proposed structure. Compliance could be achieved by replatting but the cost of time and expense is burdensome to the applicant and the City. Standard is met.

5. That the granting of the variation will not be detrimental to the public welfare, alter the essential character of the neighborhood, nor unreasonably impair the use of development of adjoining properties.

The granting of the Variance would not be detrimental, and it which would not impact the character of the neighborhood. The proposed development is consistent with the scale of other developments in direct vicinity. In fact, the original FAR considering the properties combined resulted in a FAR of 0.47, which helps illustrate the overall benign impact. Adjacent properties will not be prevented from reasonable use of their lands, nor will public welfare be placed at risk. Standard is met.

STAFF RECOMMENDATIONS

Staff finds that the application meets all the standards for a Special Use Permit and recommends that the Zoning Board of Appeals take the following actions:

Motion to establish findings of fact that all standards for approval of a Special Use Permit are met, and to recommend approval of the request with the condition that interior and perimeter parking lot landscaping be provided.

Staff finds that the application meets all the standards for granting a Variance and recommends that the Zoning Board of Appeals take the following actions:

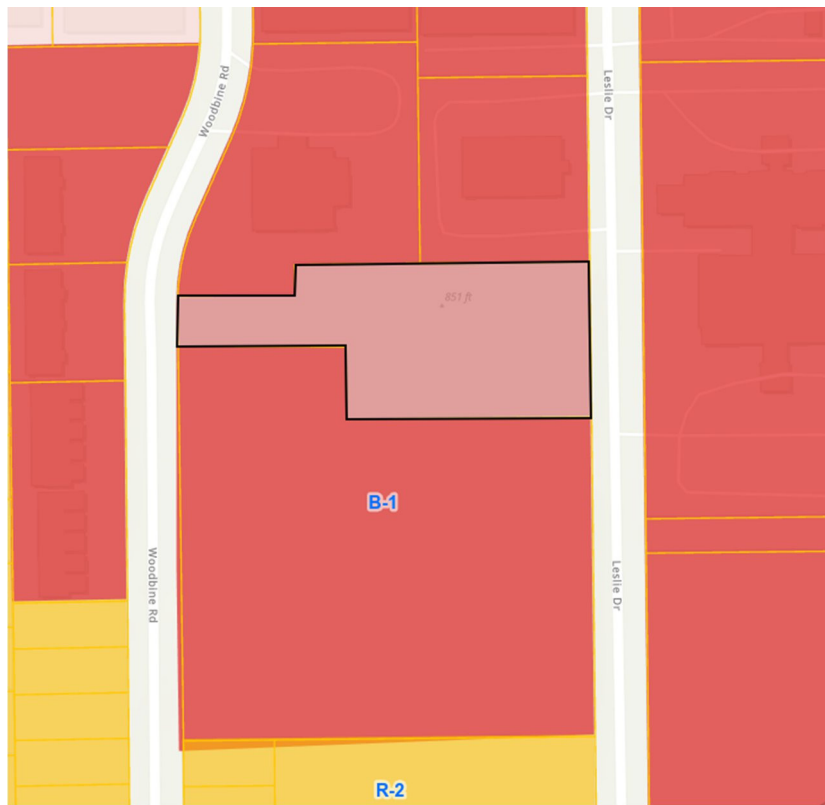
Motion to establish findings of fact that the standards for approval a Variance are met, carrying out the strict letter of the Code does create a practical difficulty or particular hardship for the Applicant, and to approve the request for a Variance to § 44-503A, as presented.

Respectfully submitted,
Jon Branham
City Planner

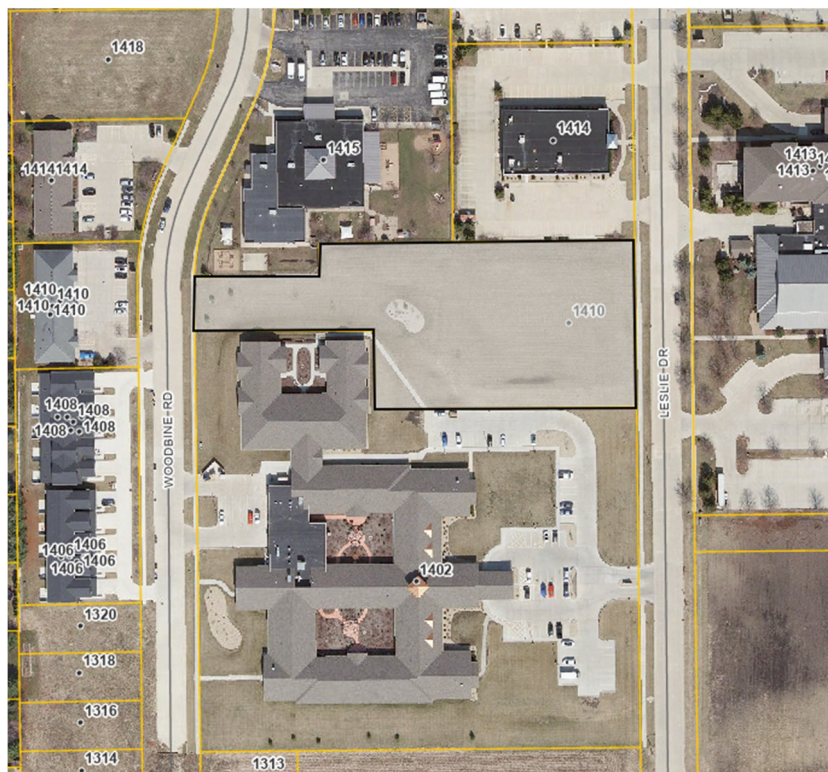
Attachments:

1. Zoning Map
2. Aerial Image
3. Ground-Level Views
4. Neighborhood notice map
5. Site Plan (separate attachment)
6. Landscape Plan (separate attachment)
7. Architectural Renderings (separate attachment)

Attachment 1 - Zoning Map



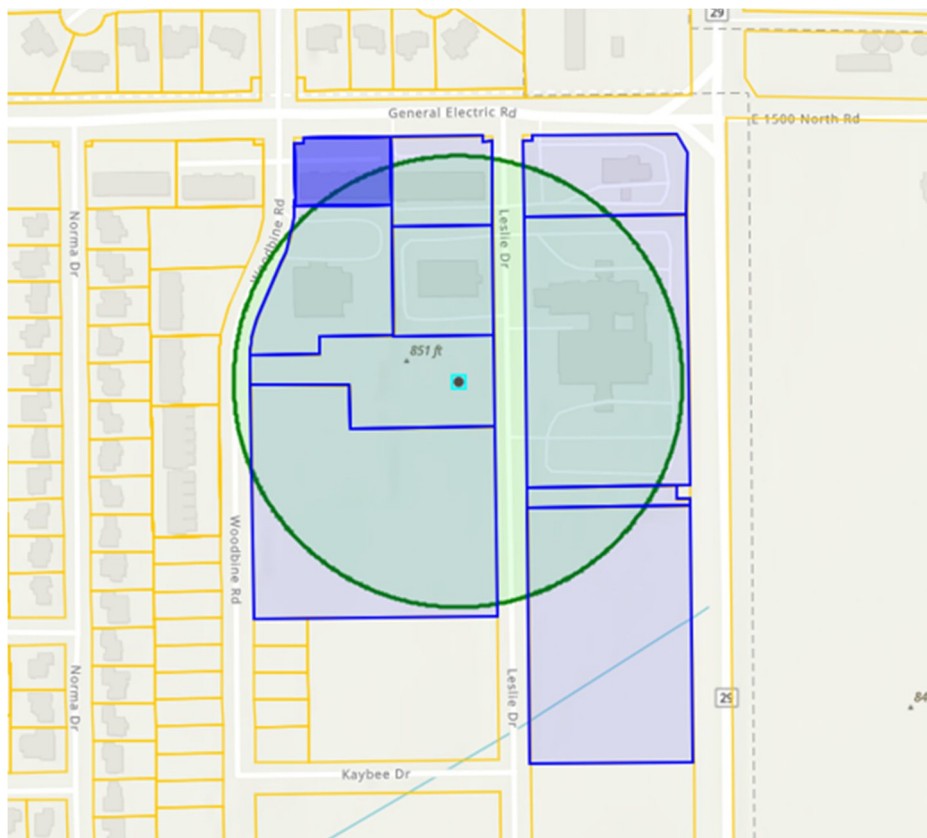
Attachment 2 - Aerial Image



Attachment 3- Ground-Level View (from Leslie Dr)



Attachment 4 - Neighborhood notice map





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	#	DATE-	DESCRIPTION-
ISSUE:			

[illegible]

Andrew Fell Architecture and Design

1402 Leslie Dr, Bloomington, IL
61704

DATE:	02/01/2024
DESIGNED:	AEO
DRAWN:	AEO
REVIEWED:	CME
FIELD BOOK NO.:	BMI 3406

C1.2

SCALE: 1"=20'

SCALE: 1"=20'

PROJECT NO.:

02341129.00



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1. THIS CONSTRUCTION SHALL BE IN ACCORDANCE WITH ANY SPECIAL PROVISIONS ACCOMPANYING THESE PLANS AND THE FOLLOWING SPECIFICATIONS:
 - A. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - B. STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.
 - C. STANDARD SPECIFICATIONS AND RECORDING SPECIAL PROVISIONS.
 - D. STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL.
 - E. STANDARD MANUAL OF INHERENT TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - F. STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION.
 - G. MINOR CURRENT EDITION.
 - H. MINOR CURRENT EDITION.
 - I. MINOR CURRENT EDITION.
 - J. MINOR URBAN MANUAL.
2. ALL UTILITY WATER AND SEWER TRENCHES SHALL BE BACKFILLED WITH FRENCH BACKFILL MATERIAL (34-1) IN ACCORDANCE WITH SECTION 208 OF THE BOOK OF EXHIBITS OR EQUIVALENT. ALL UTILITY WATER AND SEWER SHALL BE BACKFILLED WITH FRENCH BACKFILL TO AN ADEQUATE PAVERMENT.
3. ALL UTILITY WATER AND SEWER TRENCHES SHALL BE BACKFILLED TO AN ADEQUATE PAVERMENT TO AN ADEQUATE PAVERMENT.
4. ALL UTILITY WATER AND SEWER TRENCHES SHALL BE BACKFILLED TO AN ADEQUATE PAVERMENT TO AN ADEQUATE PAVERMENT.

CONTACT JALUS-14602321 ON UTILITY LOCATE IN ADVANCE IF ANY

1. UNLESS NOTED OTHERWISE, ALL PAVEMENT SHALL BE P.C. CONCRETE PAVEMENT 6" THICK
2. CONCRETE PAVEMENT CONSTRUCTION SHALL BE CLASS PP, 4000 PSI AND FOR SUBGRADE SHALL BE CLASS SS, 3600 PSI IN ACCORDANCE WITH SECTION 1000 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION INDICATED IN TABLE 1.
3. SUBGRADES SHALL BE FREE OF ROCKS AND LOGGING MATERIAL, AND SHALL BE COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
4. CONTRACTOR SHALL SUBMIT PAVEMENT AND SUBPAVEMENT LAYOUT PLANS PRIOR TO CONSTRUCTION OF PAVEMENT OR SUBPAVEMENT.
5. ALL DIMENSIONS ARE INDICATED TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. NEW SIDEWALKS TO BE CONSTRUCTED WITH MINIMUM 18" TRANSVERSE SLOPE AND TYPICAL JOINTS AT MINIMUM 8' INTERVALS.
7. ALL P.C. CONCRETE SIDEWALKS SHALL BE 4" THICK SLAB ON CASTED

PROJECT:
Andrew Fell Architecture and Design

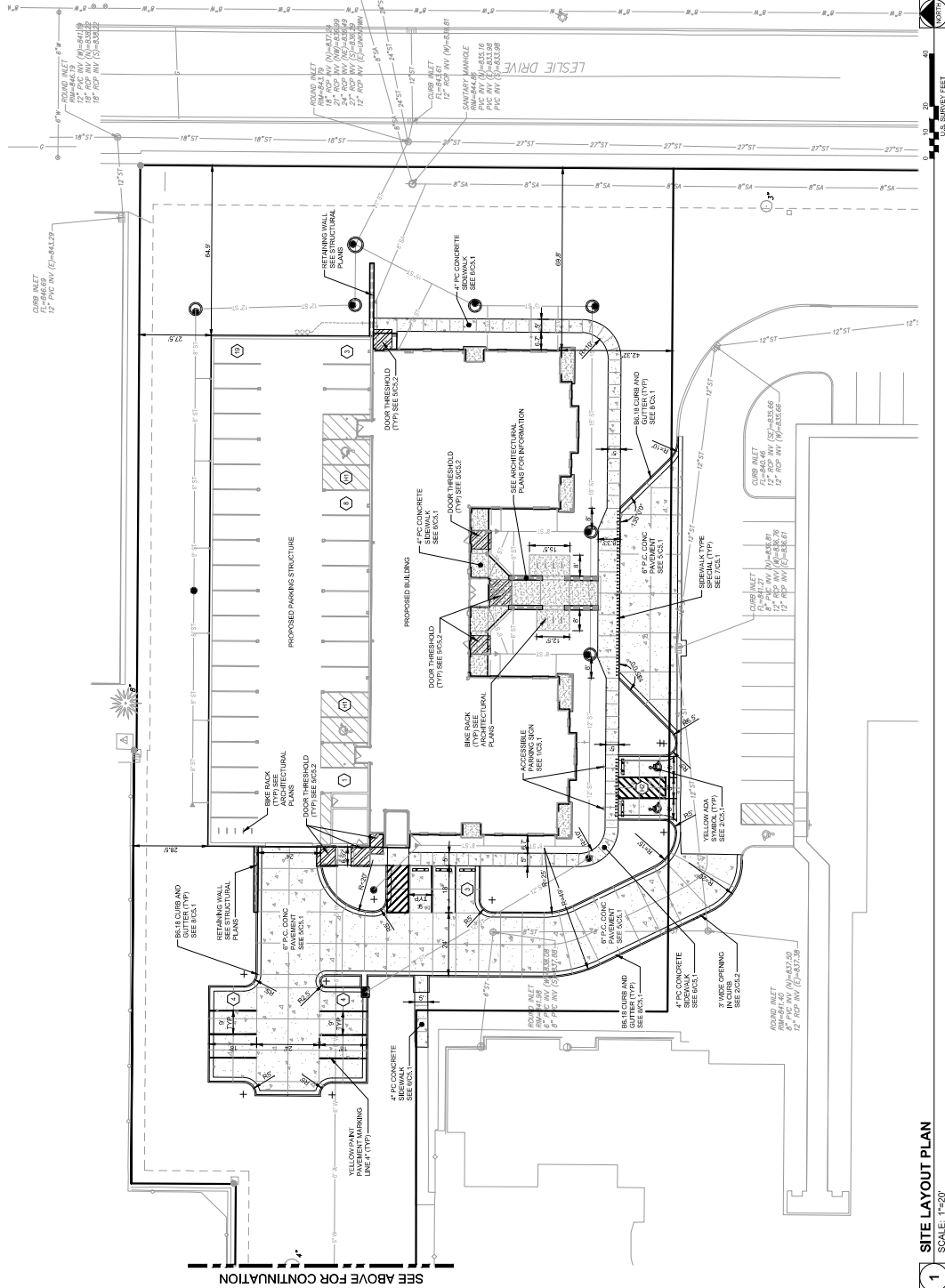
1402 Leslie Dr, Bloomington, IL
61704

DATE:	02/01/2024
DESIGNED:	AEO
DRAWN:	AEO
REVIEWED:	CME
FIELD BOOK NO.:	EMI 3406

SARIT M. SHARMA

C2.1

PROJECT NO.: 0231129.00



PARKING SUMMARY				
USE CATEGORY	GFA (SQUARE FEET)	RATE	# SPACES	
RESIDENTIAL - GOLF COURSE	11 BIELDS	1 SPACE / 2 BIELDS	48	
BICYCLE PARKING REQUIREMENTS	48	5%		3 BIELDS
		ADJUSTMENT		
BICYCLE	12 BIELD SPACES (4, 12-24 PI)	1 SPACE / 4 BIELD SPACES	2	
		NET PARKING SPACES REQUIRED		43
		REQUIRED		PROVIDED
STANDARD PARKING SPACES		41	42	
ADA PARKING SPACES		2	4	
TOTAL SPACES		43	46	

LOT AREA SUMMARY	
GROSS FLOOR AREA =	71,921 SF
TOTAL LOT AREA =	1.93 AC
TOTAL DISTURBED AREA =	1.53 AC
TOTAL PROPOSED IMPERVIOUS AREA =	0.87 AC

SITE LAYOUT PLAN
SCALE: 1"=20'



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[illegible]

STORM SEWER PLAN

C3.2

SCALE: 1"=20'

SCALE: 1"=20'

PROJECT NO.

0224130 00

STORM SEWER NOTES

1. UNLESS NOTED OTHERWISE, ALL STORM SEWERS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - a. CONCRETE PIPE, REINFORCED ASTENIC C/P SHALL BE SHOWN ON THE PLANS.
 - b. GASKETS, ASTENIC C/P JOINTS SHALL BE RUBBER GASKETS.
 - c. MANHOLES SHALL BE CAST IN PLACE CONCRETE WITH REINFORCED ASTENIC C/P AS SHOWN ON THE PLANS.
 - d. 18" DIA. 4-1/2" HIGH DENSITY POLYETHYLENE (HDPE) OR EQUAL.
 - e. JOINTS, JOINTS SHALL HAVE 1" TYPE III BELLS AND SHORT POLYURETHANE GASKETS.
 - f. FITTINGS, SAME AS PIPE.
 - g. MANHOLES SHALL BE CAST IN PLACE CONCRETE WITH REINFORCED ASTENIC C/P JOINTS SHALL BE RUBBER GASKETS.
 - h. MANUFACTURER'S JACOBY PRODUCT, NOTE 3.1.1.
 - i. 18" DIA. 4-1/2" HIGH DENSITY POLYETHYLENE (HDPE) OR EQUAL.
 - j. 18" DIA. 4-1/2" HIGH DENSITY POLYETHYLENE (HDPE) OR EQUAL.
 - k. THE GROUTING REQUIREMENTS OF CLASS 1 DO NOT.
 - l. THE GROUTING REQUIREMENTS OF CLASS 1 DO NOT.
 - m. STORM SEWER.
 - n. TYPICAL DETAILS OF JOINT SHALL BE USABLE BETWEEN THE MANHOLES.
2. CONCRETE PIPE, JOINTS, GASKETS, AND FITTINGS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - a. MINIMUM PIPE SIZE: 18" DIA. (SEE SECTION 02121)
 - b. PIPE MARKING: NSF 14.
 - c. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - d. GASKET: ASTENIC C/P ELASTOMER SEAL.
 - e. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - f. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - g. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - h. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - i. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - j. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - k. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - l. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
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 - p. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - q. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - r. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - s. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - t. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - u. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - v. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - w. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - x. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - y. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
 - z. JOINTS: JOINTS SHALL BE RUBBER GASKETS.
3. UNLESS NOTED OTHERWISE, ALL STORM SEWERS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - a. CONCRETE PIPE, REINFORCED ASTENIC C/P SHALL BE SHOWN ON THE PLANS.
 - b. GASKETS, ASTENIC C/P JOINTS SHALL BE RUBBER GASKETS.
 - c. MANHOLES SHALL BE CAST IN PLACE CONCRETE WITH REINFORCED ASTENIC C/P AS SHOWN ON THE PLANS.
 - d. 18" DIA. 4-1/2" HIGH DENSITY POLYETHYLENE (HDPE) OR EQUAL.
 - e. JOINTS, JOINTS SHALL HAVE 1" TYPE III BELLS AND SHORT POLYURETHANE GASKETS.
 - f. FITTINGS, SAME AS PIPE.
 - g. MANHOLES SHALL BE CAST IN PLACE CONCRETE WITH REINFORCED ASTENIC C/P JOINTS SHALL BE RUBBER GASKETS.
 - h. MANUFACTURER'S JACOBY PRODUCT, NOTE 3.1.1.
 - i. 18" DIA. 4-1/2" HIGH DENSITY POLYETHYLENE (HDPE) OR EQUAL.
 - j. 18" DIA. 4-1/2" HIGH DENSITY POLYETHYLENE (HDPE) OR EQUAL.
 - k. THE GROUTING REQUIREMENTS OF CLASS 1 DO NOT.
 - l. THE GROUTING REQUIREMENTS OF CLASS 1 DO NOT.
 - m. STORM SEWER.
 - n. TYPICAL DETAILS OF JOINT SHALL BE USABLE BETWEEN THE MANHOLES.
4. UNLESS NOTED OTHERWISE, ALL STORM SEWERS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - a. CONCRETE PIPE, REINFORCED ASTENIC C/P SHALL BE SHOWN ON THE PLANS.
 - b. GASKETS, ASTENIC C/P JOINTS SHALL BE RUBBER GASKETS.
 - c. MANHOLES SHALL BE CAST IN PLACE CONCRETE WITH REINFORCED ASTENIC C/P AS SHOWN ON THE PLANS.
 - d. 18" DIA. 4-1/2" HIGH DENSITY POLYETHYLENE (HDPE) OR EQUAL.
 - e. JOINTS, JOINTS SHALL HAVE 1" TYPE III BELLS AND SHORT POLYURETHANE GASKETS.
 - f. FITTINGS, SAME AS PIPE.
 - g. MANHOLES SHALL BE CAST IN PLACE CONCRETE WITH REINFORCED ASTENIC C/P JOINTS SHALL BE RUBBER GASKETS.
 - h. MANUFACTURER'S JACOBY PRODUCT, NOTE 3.1.1.
 - i. 18" DIA. 4-1/2" HIGH DENSITY POLYETHYLENE (HDPE) OR EQUAL.
 - j. 18" DIA. 4-1/2" HIGH DENSITY POLYETHYLENE (HDPE) OR EQUAL.
 - k. THE GROUTING REQUIREMENTS OF CLASS 1 DO NOT.
 - l. THE GROUTING REQUIREMENTS OF CLASS 1 DO NOT.
 - m. STORM SEWER.
 - n. TYPICAL DETAILS OF JOINT SHALL BE USABLE BETWEEN THE MANHOLES.

ST MH 4 DIA TY A-1
ST MH: STORM SEWER MANHOLE
4 DIA: DIAMETER OF MANHOLE WITH SIZE INDICATED
TY A-1: MANHOLE TYPE (A, C OR SPECIAL) - CASTING TYPE (AS DEFINED)

ST INLET TY H-50
ST INLET: STORM SEWER INLET

4. TYPE 1 STORM MANHOLE/INLET CASTING SHALL BE NEENAH R-502-D.
TYPE H-60 STORM/INLET CASTING SHALL BE NEENAH R-3246-C WITH NO BARS IN FRONT OF CURB BOX UNLESS NOTED AS R-5007-L.
5. TYPE 61 STORM/INLET CASTING SHALL BE NEENAH R-1342 BEEHIVE.
CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING

6. ALL STORM SEWERS SHALL REMAIN PRIVATE AND WILL BE OWNED AND MAINTAINED BY THE APARTMENT COMPLEX OWNERS.

7. ALL 6" AND 8" DOWNSPOUT COLLECTOR PIPES AND STORM SEWER CONNECTIONS SHALL BE CONNECTED TO STORM SEWER MAIN USING PREMANUFACTURED TEES. SEE DETAIL 4- ON C&P FOR DOWNSPOUT CONNECTION DETAIL.
8. ALL UTILITY MAIN AND SERVICE TRENCHES SHALL BE BACKFILLED WITH TRENCH BACKFILL MATERIAL (3A-1) IN ACCORDANCE WITH SECTION 208 OF THE 2012 STANDARD SPECIFICATIONS WHERE THE TRENCH IS UNDER OR WITHIN 2 FEET OF EXISTING PAVEMENT. TRENCH BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DRY TIGHTNESS. LOW STRENGTH MATERIAL (3SM) MAY BE USED IN LIEU OF TRENCH BACKFILL AT NO ADDITIONAL COMPENSATION.

Permit Set
NOT FOR CONSTRUCTION

PROJECT:
Andrew Fell Architecture and Design

Carriage Crossing Senior Living

1402 Leslie Dr, Bloomington, IL
61704

DATE: 02/01/2024

DESIGNED: AEO

DRAWN: AEO

REVIEWED: CME

FIELD BOOK NO.: BMI 3406

CONCLUSIONS

STORM SEWER DI AN

STORM SEWER PLAN

STORM S

— 100 —

1



Farnsworth
GROUP
2709 McGRAW DRIVE
BLOOMINGTON, IL 61704
(800) 603-8435 | info@farnsworth.com

Project: Carriage Crossing
Location: Carriage Crossing
Project No.: 02311250-01
Sheet: 1 of 1
Date: 02/01/2024
Description: STORM SEWER PROFILES

Permit Set
NOT FOR CONSTRUCTION

Project:
Carriage Crossing
Senior Living

Carriage Crossing
Senior Living

14001 Leslie Dr. Bloomington, IL
61704

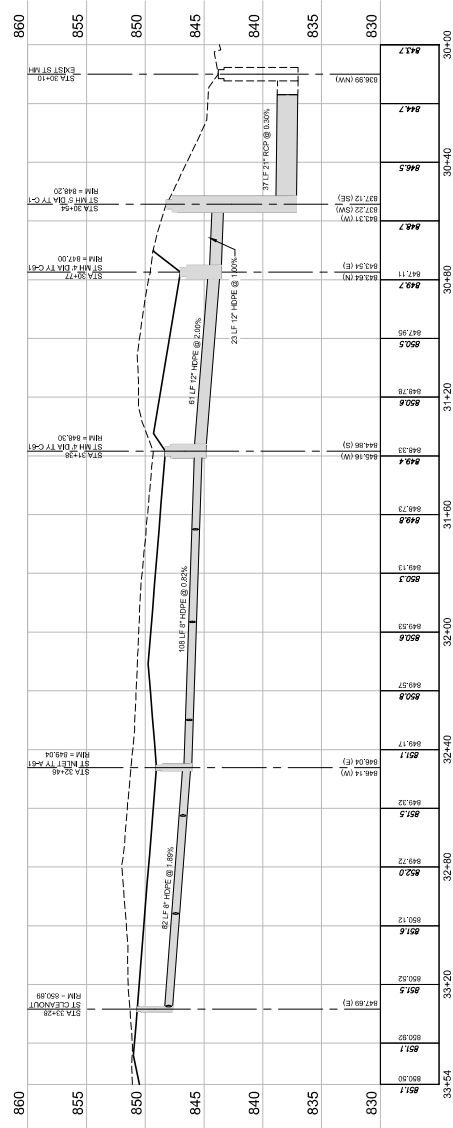
DATE: 02/01/2024
DESIGNED: AEO
DRAWN: AEO
REVIEWED: CME
FIELD BOOK NO.: BIM 3406
SHEET NO.

STORM SEWER
PROFILES

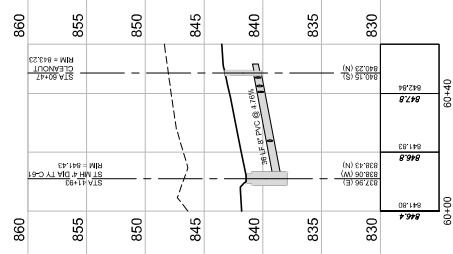
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PROJECT NO.: 02311250-01

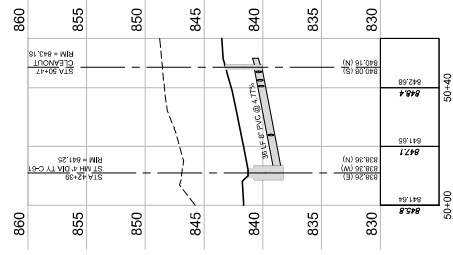
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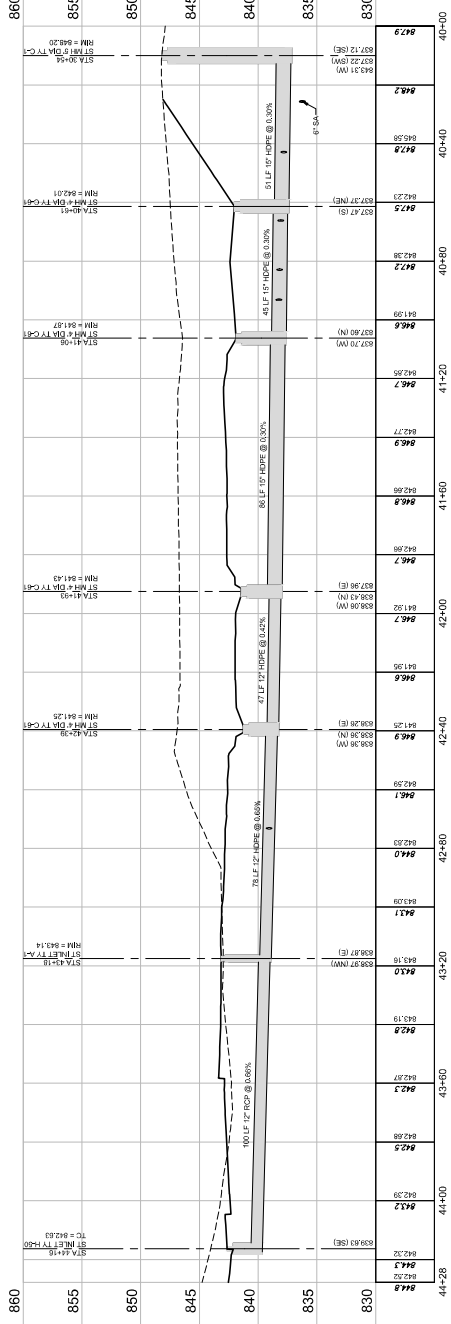
3 STORM SEWER PROFILE - NORTH
SCALE: H: 1"=20' V: 1"=5'



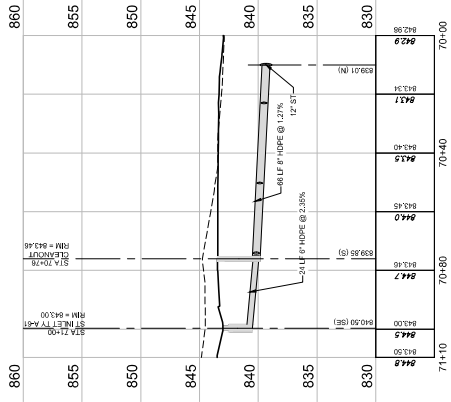
4 STORM SEWER PROFILE
EAST DRAINLINE
SCALE: H: 1"=20' V: 1"=5'



5 STORM SEWER PROFILE
CENTER DRAINLINE
SCALE: H: 1"=20' V: 1"=5'



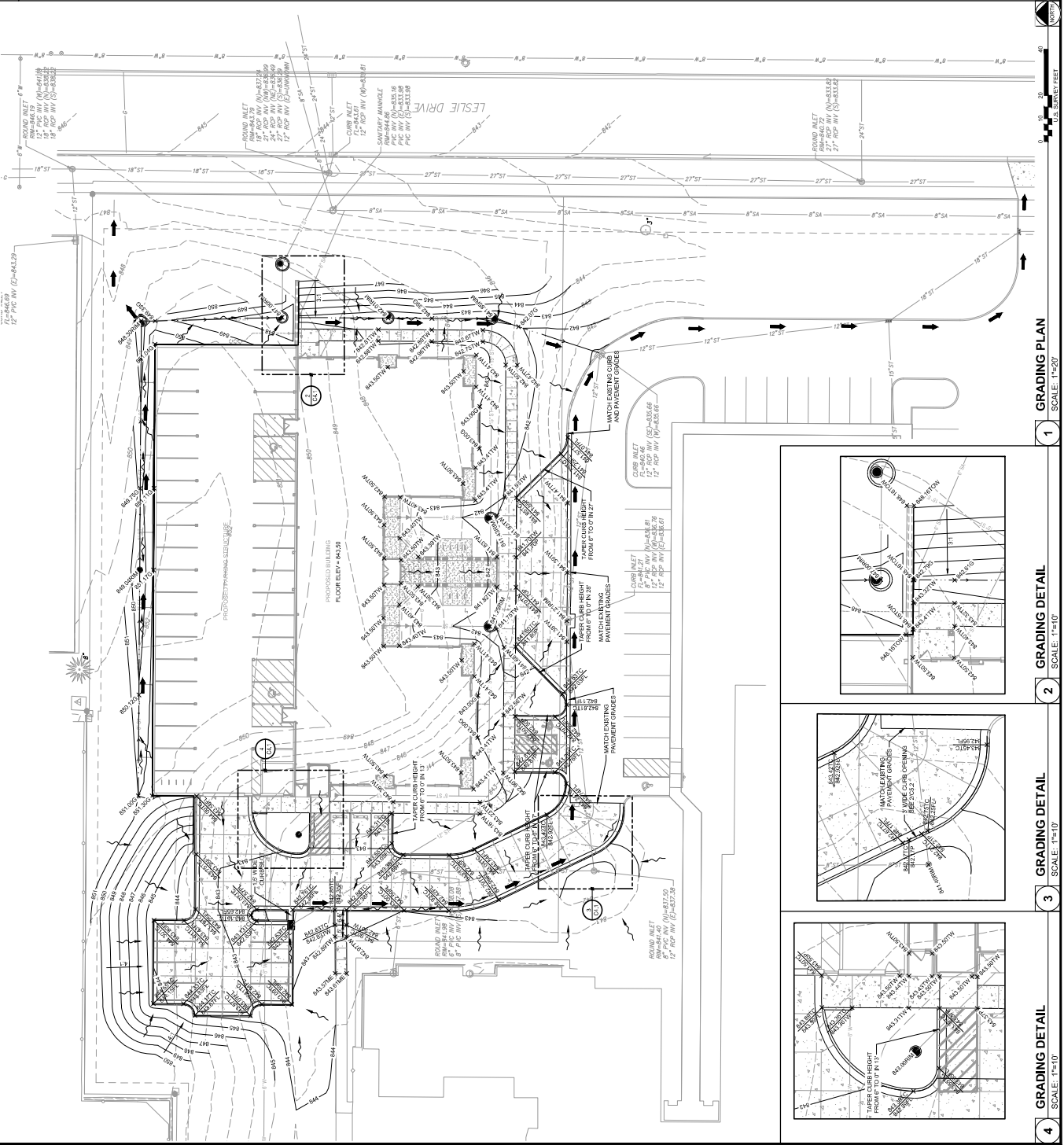
1 STORM SEWER PROFILE - SOUTH
SCALE: H: 1"=20' V: 1"=5'



2 STORM SEWER PROFILE
WEST DRAINLINE
SCALE: H: 1"=20' V: 1"=5'

STANDARD GRADING NOTES

1. ALL PAVEMENT SHALL HAVE A MINIMUM SLOPE OF 1.0%. ALL FINISHED GROUND SLOPES SHALL HAVE A MAXIMUM OF 3:1.
2. TRINITY SHALL STRIP ALL AREAS (PAVEMENT AND BUILDING) SHALL BE STRIPPED TO A DEPTH OF 6".
3. SUBBASES SHALL BE FREE OF DEBRIS AND ORGANIC MATERIAL, AND SHALL BE COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
4. A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE INSTALLED OR RESTORED TO ALL DISTURBED AREAS THAT WILL BE SEEDING.
5. NEW SPINALS AS TO CONSTRUCTED WITH MAXIMUM 1.5% TRANSVERSE SLOPE.

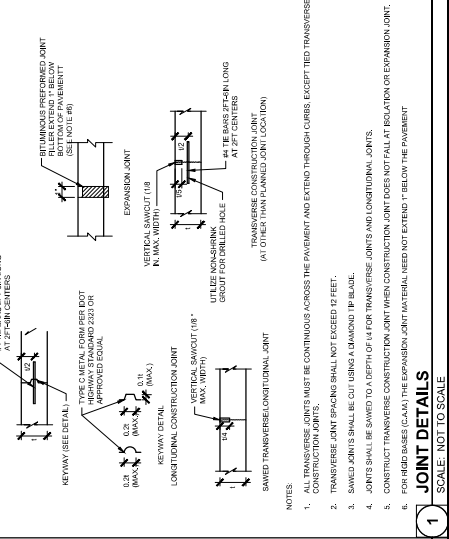
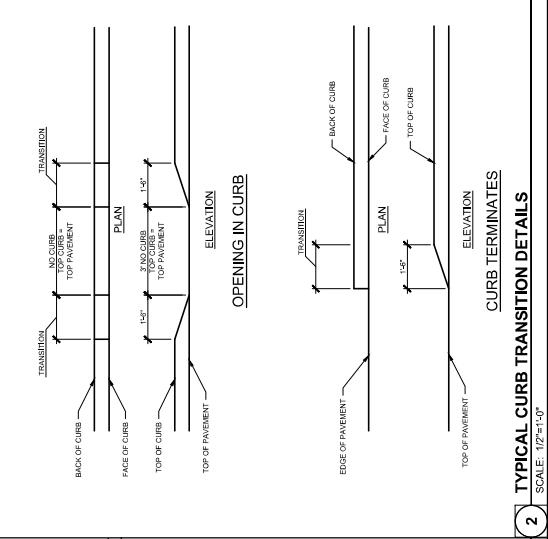
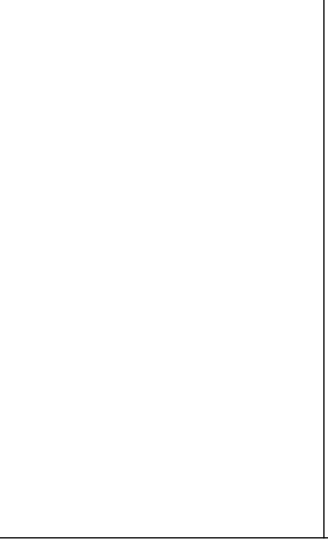
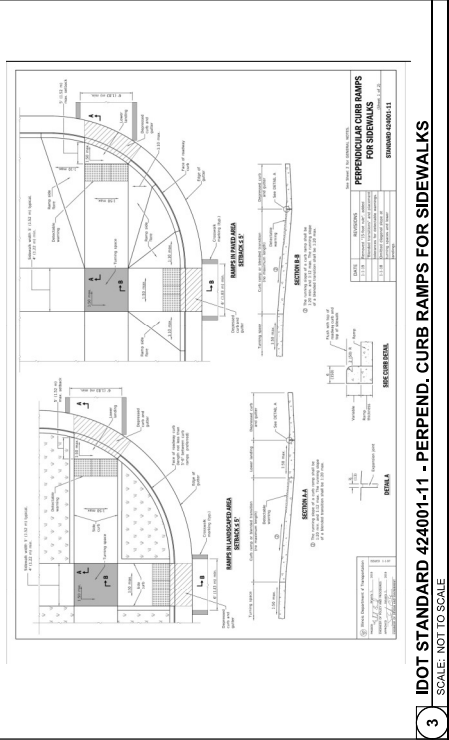
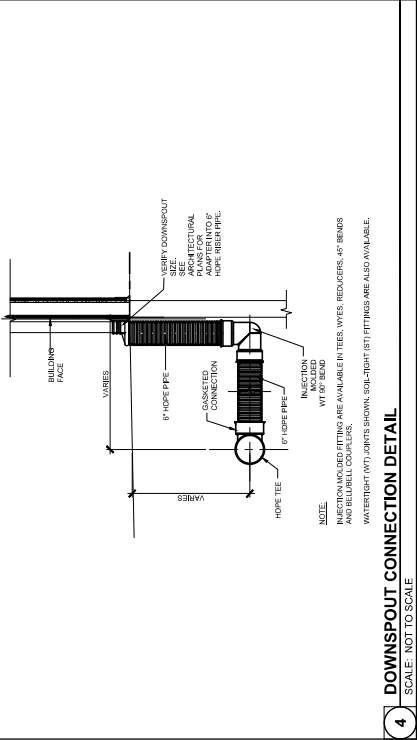
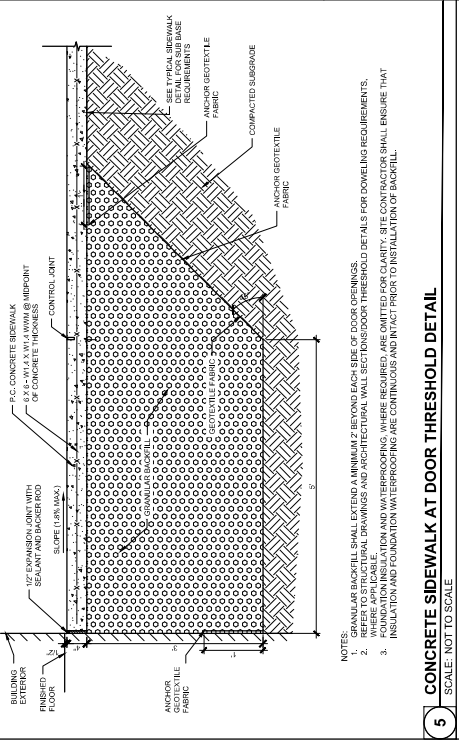


GRADING PLAN

GRADING DETAIL

GRADING DETAIL

GRADING DETAIL



Farnsworth GROUP
2700 MCGRAW DRIVE
BLOOMINGTON, IL 61704
(800) 653-8435 / info@fng.com

www.fng.com
Bridges | Architects | Engineers | Scientists

DATE	DATE	DESCRIPTION

Permit Set
NOT FOR CONSTRUCTION

194-000
Andrew Fell Architecture and Design

Carriage Crossing
Senior Living

1403 Leslie Dr. Bloomington, IL 61704
DATE: 02/01/2024
DESIGNED: AEO
DRAWN: AEO
REVIEWED: CME
FIELD BOOK NO.: BIM 3406
BY: JF

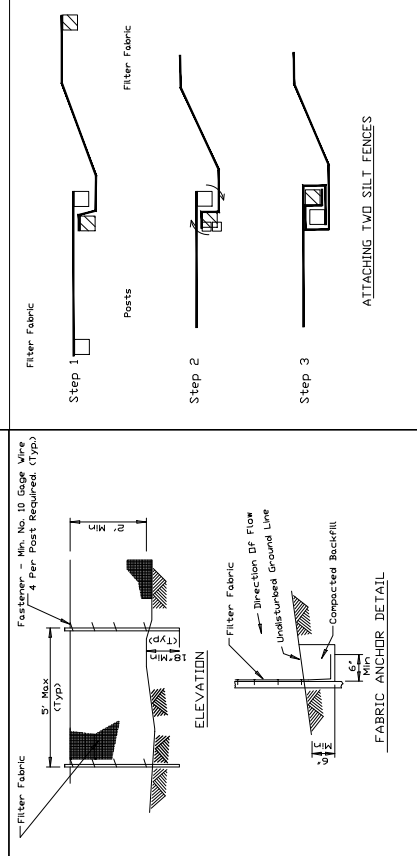
SITE DETAILS

PROJECT NO. 0231125-00

C5.2

0231125-00

PERIMETER BARRIER - SILT FENCE DETAIL

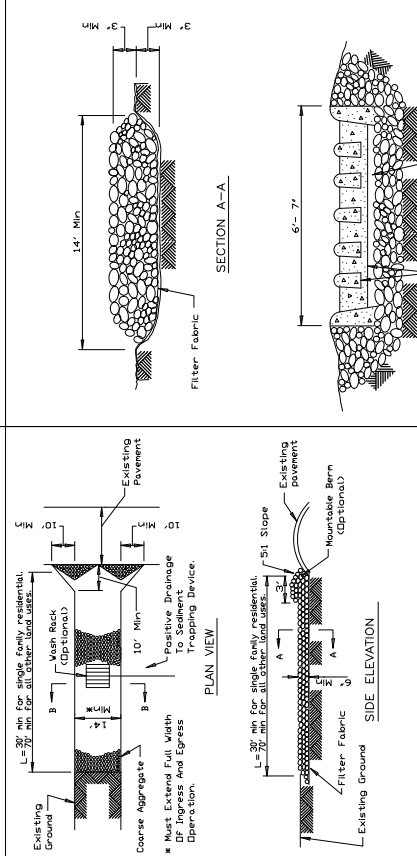


NOTES:

1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction process and removed in conjunction with the final grading and site stabilization.
2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2. Cloths with equivalent opening size of 0.075 mm (No. 200) shall be used.
3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

NO.	REVISION	DATE	BY	CITY OF BLOOMINGTON ENGINEERING DEPARTMENT
1	ISSUED FOR PERMIT	02/01/2024	NAME	CITY OF BLOOMINGTON ENGINEERING DEPARTMENT
2	STANDARD DETAIL	1337-42	NAME	CITY OF BLOOMINGTON ENGINEERING DEPARTMENT

STABILIZED CONSTRUCTION ENTRANCE DETAIL

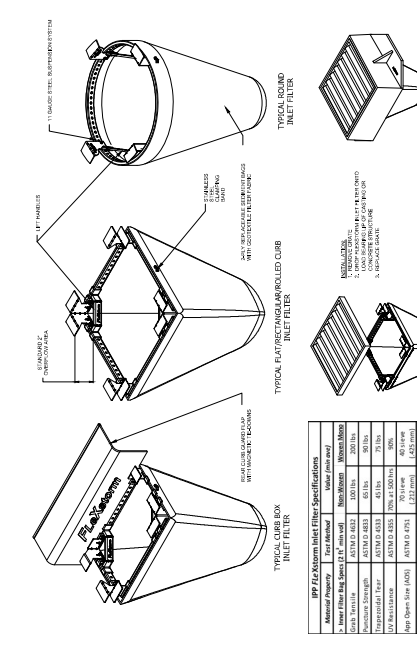


NOTES:

1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2. Cloths IV or V shall be placed over the cleared area prior to the placing of rock.
2. Rock or reclaimed concrete shall meet one of the following 100T coarse aggregate specifications: 100T coarse aggregate, 100T coarse aggregate, 100T coarse aggregate, 100T coarse aggregate, 100T coarse aggregate, 100T coarse aggregate, 100T coarse aggregate, 100T coarse aggregate, 100T coarse aggregate, 100T coarse aggregate.
3. Construction shall be in accordance with the requirements of construction specification 25 RDOFFILL using placement Method 1 and Class III connection.
4. If wash racks are used they shall be installed according to the manufacturer's specifications.

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PERIMETER BARRIER - SILT FENCE DETAIL

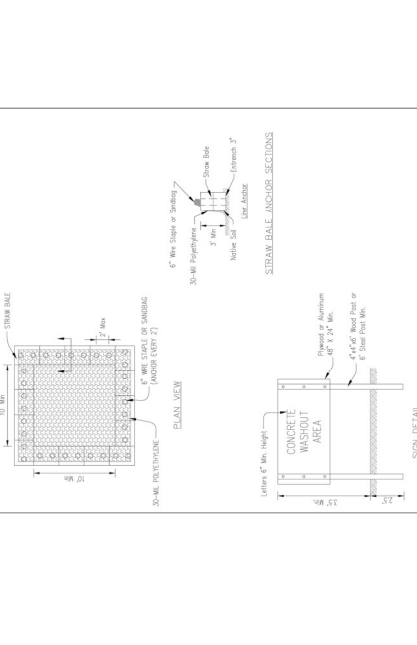


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