



Zoning Board of Appeals - Regular Session Agenda
Government Center Boardroom, 4th Floor, Room #400
115 E. Washington St., Bloomington, IL 61701
Wednesday, February 18, 2026 - 4:00 PM

1. Call to Order

2. Roll Call

3. Public Comment

Individuals wishing to provide emailed public comment must email comments to publiccomment@cityblm.org at least 15 minutes before the start of the meeting. Individuals wishing to speak in-person may register at cityblm.org/register at least 5 minutes before the start of the meeting.

4. Consent Agenda

Items listed on the Consent Agenda are approved with one motion; Items pulled from the Consent Agenda are listed and voted on separately.

- A. **Review and approval of the Minutes of the November 19, 2025, regular meeting of the Bloomington Zoning Board of Appeals, as requested by the Development Services Department.** (Recommended Motion: Motion to accept the minutes, as presented.)

5. Regular Agenda

All license creations, amendments or transfers are contingent upon compliance with all building, health and safety codes.

- A. **Public hearing, review, and action on a request submitted by Vertical Bridge Development, LLC, for a Special Use Permit for a Wireless Communications Facility in the B-1 (General Commercial) District, for the property located at 1106 Interstate Dr. (PIN: 13-36-401-001), as requested by the Development Services Department.** (Recommended Motion: Motion to establish findings of fact that all *standards for approval* of a Special Use Permit *are met*, and to *recommend approval* of the request as submitted.)

6. New Business

7. Adjournment

Individuals with disabilities planning to attend the meeting who require reasonable accommodations to observe and/or participate, or who have questions about the accessibility of the meeting, should contact the City's ADA Coordinator at 309-434-2468 or mhurt@cityblm.org.



Consent Agenda Item No. 4.A.

For Zoning Board of Appeals: February 18, 2026

Ward Impacted: City Wide

Subject: Review and approval of the Minutes of the November 19, 2025, regular meeting of the Bloomington Zoning Board of Appeals, as requested by the Development Services Department.

Recommended Motion: Motion to accept the minutes, as presented.

Strategic Plan:

Goal: Financially Sound City Providing Quality Basic Services.

Objective: Engaged residents that are well informed and involved in an open governance process.

Background: In compliance with the Open Meetings Act, Board Minutes must be approved thirty (30) days after the meeting or at the second subsequent regular meeting whichever is later.

Community Groups/Interested Persons Contacted: N/A

Financial Impact: N/A

Attachments:

1. ZBA Minutes 2025-11-19 DRAFT
2. 2025-11-19 ZBA presentation
3. ZBA Minutes 2025-11-19 Exhibit A Presentation by Mr. Boyle



**DRAFT MINUTES
ZONING BOARD OF APPEALS - REGULAR SESSION
WEDNESDAY, NOVEMBER 19, 2025, 4:00 PM**

The Zoning Board of Appeals convened in regular session at 4:03 PM, November 19, 2025. Board Chair Ballantini called the meeting to order.

Roll Call

Attendee Name	Title	Status
Matt Steinkoenig	Board Member	Not Present
Becky Welch	Board Member	Present
Melissa Woods	Board Member	Present
Victoria Harris	Board Member	Present
Nikki Williams	Board Vice Chair	Present
Terry Ballantini	Board Chair	Present
John Poling	Board Member	Present

City staff present included Jon Branham, Planner II; Marcus Ricci, Planner III, Alissa Pemberton, Planning Manager; Kelly Pfeifer, Director of Development Services

Public Comment

There was no public comment.

Consent Agenda

Items listed on the Consent Agenda are approved with one motion; Items pulled from the Consent Agenda for discussion are listed and voted on separately.

Board Member Poling made a motion, seconded by Board Member Harris, to approve the item as submitted.

AYES: Ballantini; Harris; Williams; Poling, Woods, Welch

Motion carried (viva voce).

Item 4.A. Review and approval of the minutes of the October 15, 2025, regular meeting of the Bloomington Zoning Board of Appeals.

Regular Agenda

The following items were presented:

Item 5.A. V-12-25 - Public hearing, review, and action on a request submitted by Catalyst Construction and Todd Bresney, CMI Investments, LLC (owner) for a Variance from § 44-

503 (Table 503) of the Zoning Code, to allow a reduced Front Yard setback in the D-2 (Downtown Transitional) District, for the property located at 237 E. Front Street, PIN: 21-04-413-017.

Mr. Branham presented the staff report with a recommendation for denial. He reviewed the surrounding zoning and land uses. He described the characteristics of the property and details of the request, including the requested modification to push the entry area forward to be flush with the remainder of the existing building. He also noted the standards as outlined in the staff report were available for review.

Board Member Woods inquired about other surrounding buildings in the D-2 District and how regulations compare to the D-1 District. Ms. Pemberton explained the differences between the districts and highlighted building design history which encouraged recessed entry areas for display and weather protection. She stated there was the possibility of rezoning the subject block of buildings to the D-1 District.

Board Chair Ballantini inquired about the current front yard setback required in the D-1 District. Mr. Branham stated there was a zero-foot front yard requirement in the D-1 District. Ms. Pemberton added there had been recent text amendments recommended by the Planning Commission to allow for the elimination of recessed entries in the D-1 District.

Board Chair Ballantini opened the public hearing.

Jason White (Representing Applicant, Catalyst Construction, Applicant, 216 Grove Street), provided further background on the project. He stated the key reasons for the request were aesthetics and safety.

Board Chair Ballantini inquired whether the owner would be financing the project and if the doors would swing in or out. Mr. White confirmed the owner would provide financial support and explained that the doors are required to swing out.

Jerry Schrek, (Representing Applicant, Aldeia Engineering, 216 E. Grove Street) expanded on the request for improved building aesthetics. He added that several other buildings on this block are located up to the front property line and that they believed that should help make it a reasonable request.

Board Member Poling inquired if there were alternative plans if the request was not approved. Mr. White stated there were no alternative plans at this time.

Vice Board Chair Williams inquired about the odd physical nature of the building as compared to the others on the block. Mr. Branham stated it was constructed at a much later date than surrounding buildings on the block.

Chair Ballantini inquired if there were reports of loitering in the recessed entryway. Ms. Pemberton stated there had been no complaints received. Mr. Schrek stated the owner had expressed some concern but there were no confirmed instances.

Board Chair Ballantini closed the public hearing.

Board Member Poling made a motion, seconded by Board Member Woods, to recommend denial of the item as presented.

Roll call

AYES: Ballantini; Williams; Poling, Woods

NAYES: Harris; Welch

Motion passed.

Item 5.B. Boards & Commissions Refresher Presentation, as requested by the Legal Department.

Mr. Boyle provided a refresher presentation to the Board regarding processes and protocol.

New Business

There was no new business reported.

Adjournment

Board Member Poling made a motion, seconded by Board Member Williams, to adjourn the meeting.

AYES: Ballantini; Harris; Williams; Poling, Woods, Welch

Motion passed (viva voce).

The meeting adjourned at 4:58 p.m.

CITY OF BLOOMINGTON

Terry Ballantini, Board Chair

Jon Branham, Staff Liaison



City of Bloomington

Zoning Board of Appeals

November 19, 2025



CITY OF BLOOMINGTON
ZONING BOARD OF APPEALS
NOVEMBER 19, 2025

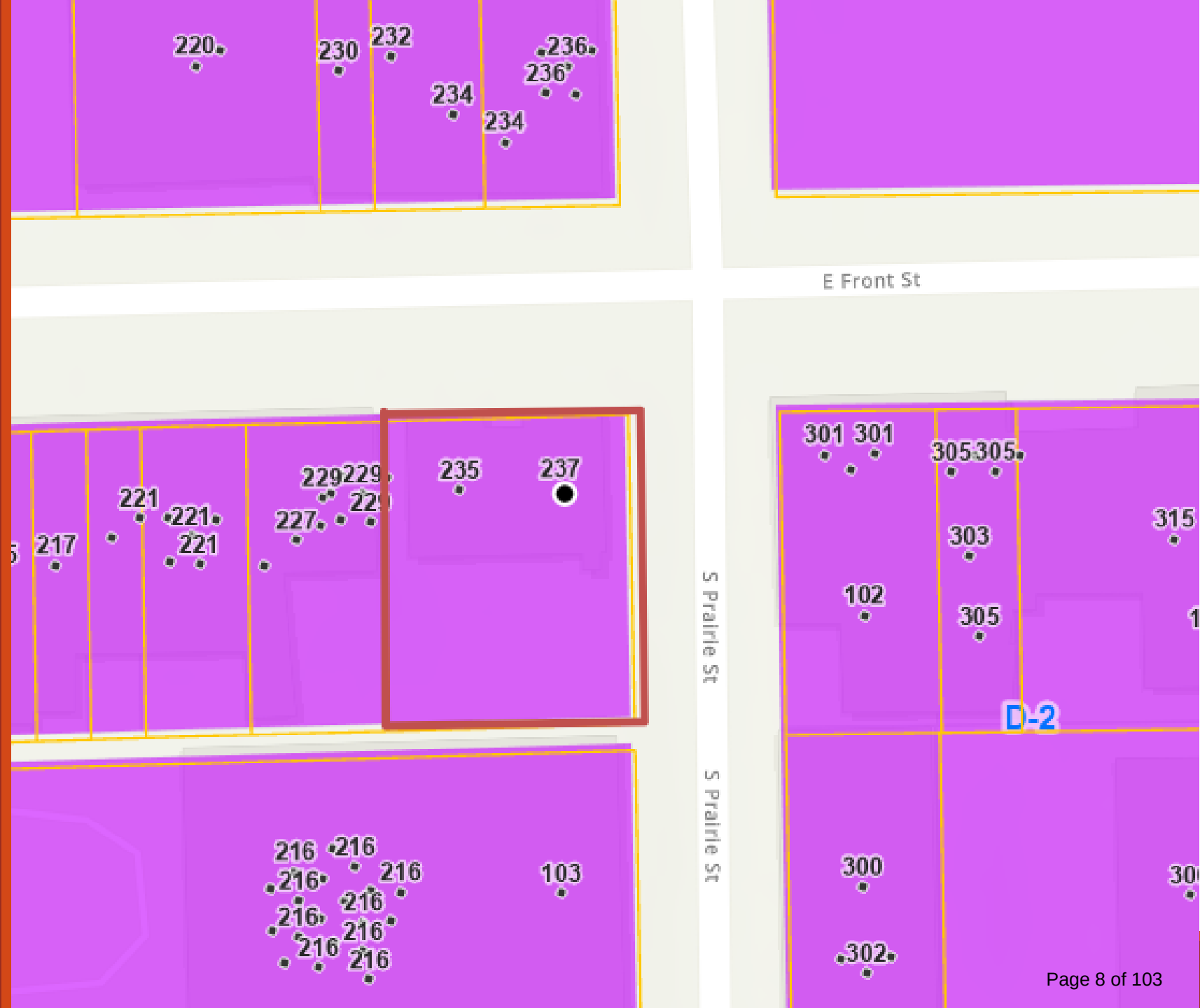
Regular Agenda

Item	Case Number	Description
5.A.	V-12-25	Public hearing, review, and action on a request submitted by Catalyst Construction and Todd Bresney, CMI Investments, LLC (owner), for approval of a Variance to allow a reduced front yard setback for the property located at 237 E. Front Street, PIN: 21-04-413-017.
5.B	-	Boards and Commissions Refresher Presentation, as requested by the Legal Department

Current & Adjacent Zoning

Surrounding uses:

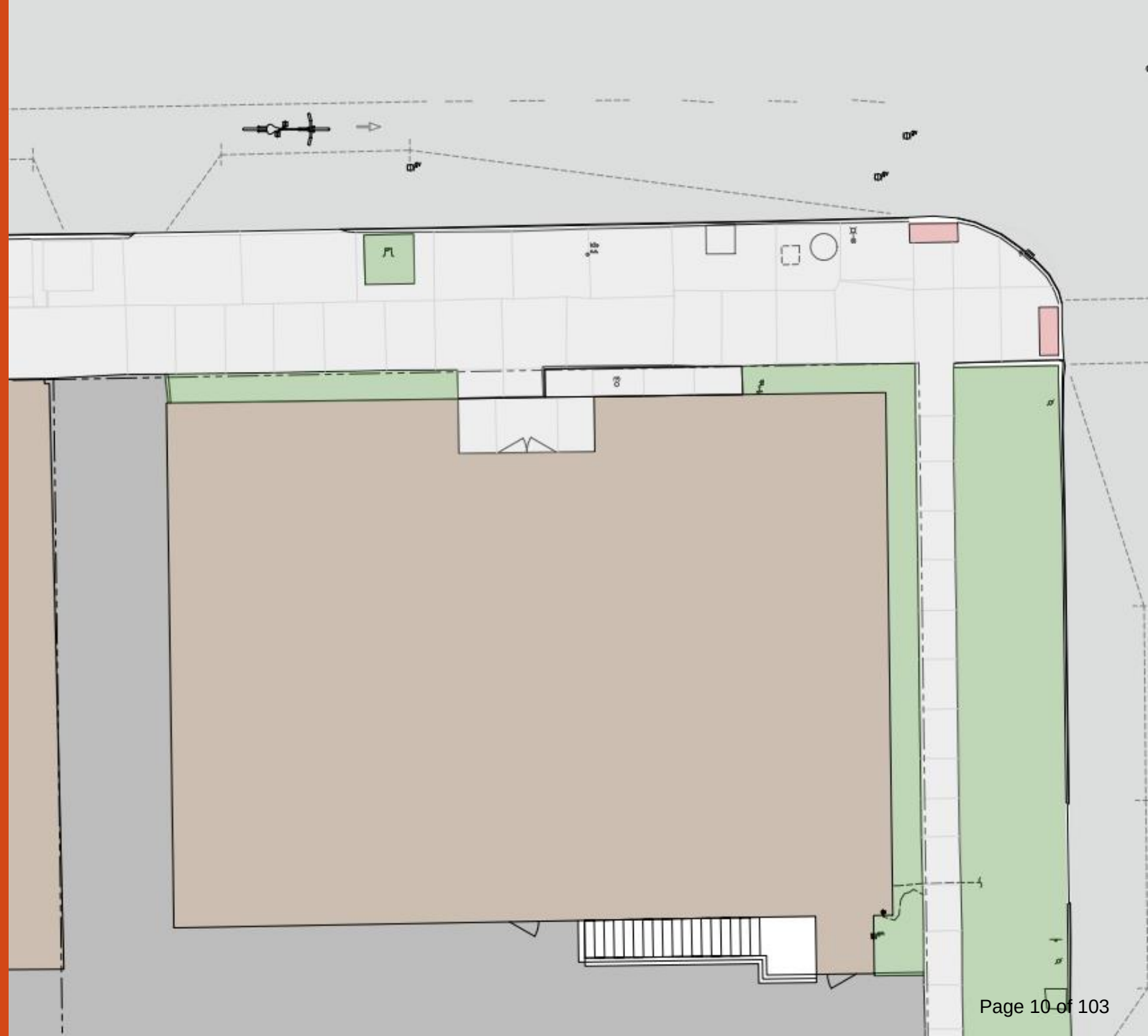
- North – Mixed Use (D-2 Downtown Transitional)
- South – Office (D-2 Downtown Transitional)
- East – Mixed Use (D-2 Downtown Transitional)
- West – Mixed Use (D-2 Downtown Transitional)



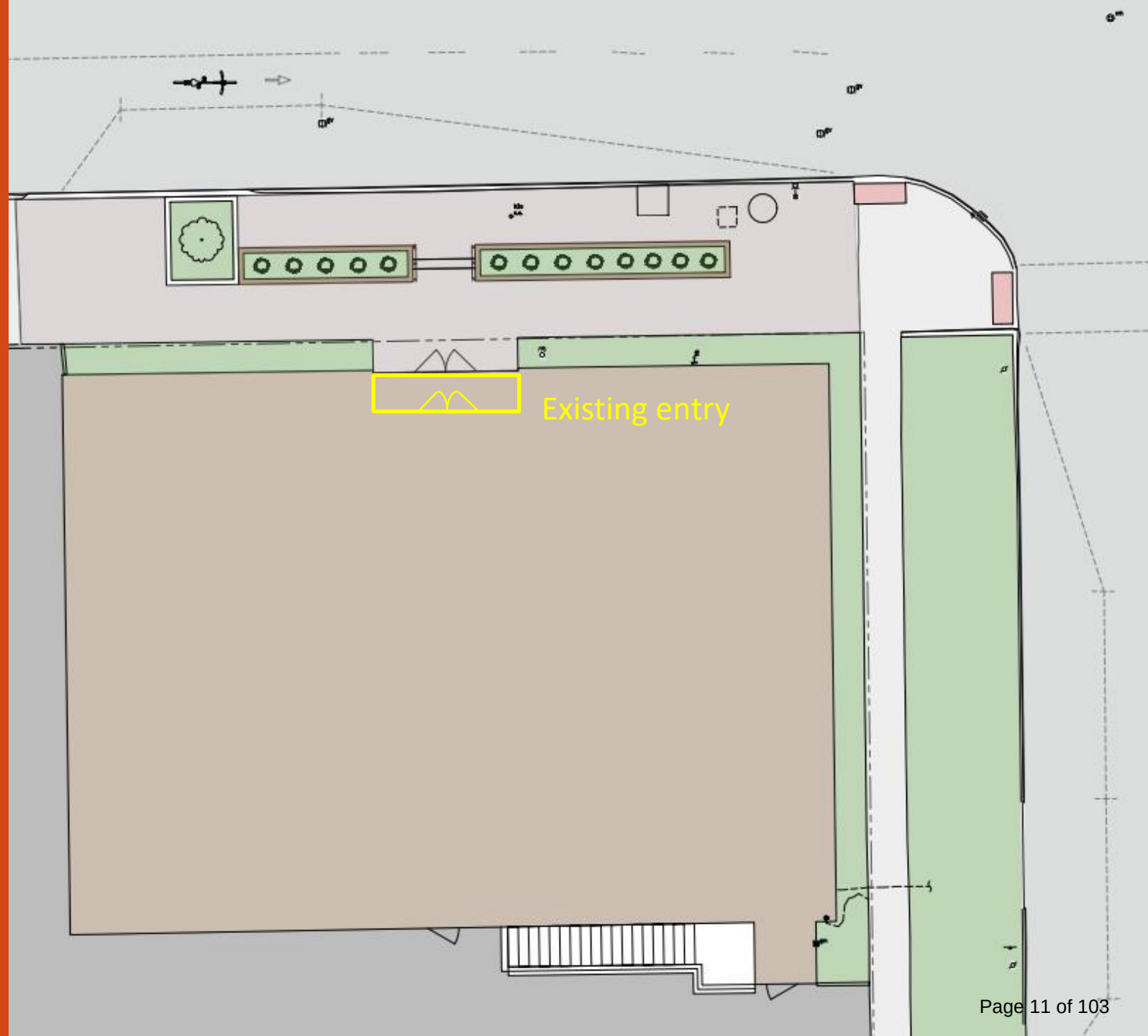
Aerial View



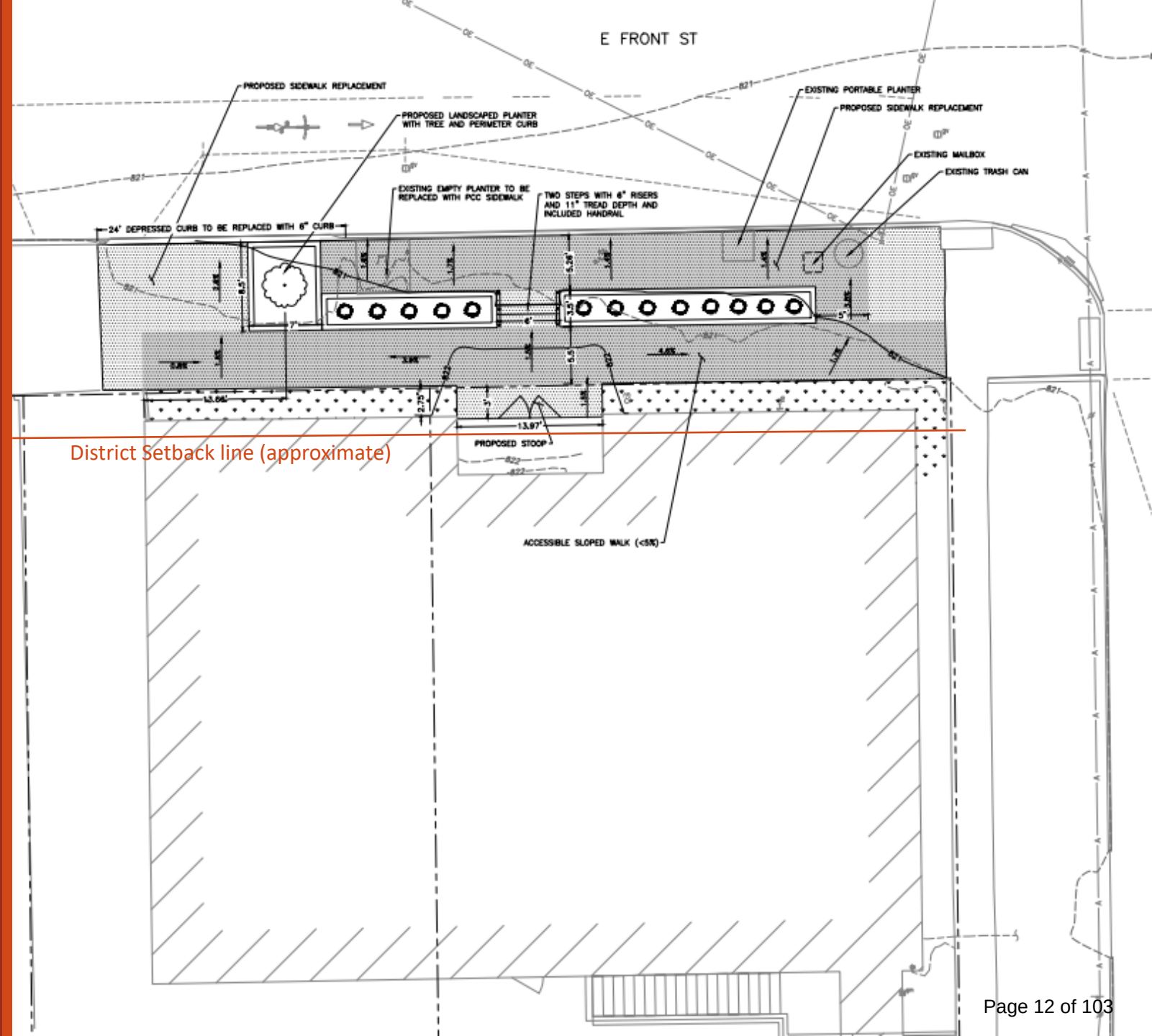
Site Plan - Existing



Site Plan - Proposed



Detailed Site Plan - Proposed





ORIGINAL ENTRANCE FEATURE ELEVATION

Proposed Front Elevation

Site Photo – Subject Property



Street View West of Subject Property





Street View
North - across
street from
subject property

Findings of Fact - Variances

Standards

1. That the property has physical characteristics that pose unreasonable challenges which make strict adherence to the Code difficult.
2. That the variance would be the minimum action necessary to afford relief to the applicant.
3. That the special conditions and circumstances were not created by any action of the applicant.
4. That granting the variation request will not give the applicant any special privilege that is denied to others by the Code.
5. That the granting of the variation will not be detrimental to the public welfare, alter the essential character of the neighborhood, nor unreasonably impair the use of development of adjoining properties.



Staff Recommendation

CASE V-12-25

Staff finds that the application does not meet all the standards for a Variance.

Recommended Action(s)

Motion to establish findings of fact that all standards for approval of a Variance are not met and to deny a Variance to allow a reduced front yard setback.



CITY OF BLOOMINGTON
ZONING BOARD OF APPEALS
NOVEMBER 19, 2025

Regular Agenda

Item	Case Number	Description
5.A.	V-12-25	Public hearing, review, and action on a request submitted by Catalyst Construction and Todd Bresney, CMI Investments, LLC (owner), for approval of a Variance to allow a reduced front yard setback for the property located at 237 E. Front Street, PIN: 21-04-413-017.
5.B	-	Boards and Commissions Refresher Presentation, as requested by the Legal Department

Boards & Commissions Refresher

Zoning Board of Appeals

(1) Creation. The Zoning Board of Appeals of the City of Bloomington, Illinois, which has been duly created by the City Council, is the Zoning Board of Appeals referred to in this Code.

(2) Composition. The Zoning Board of Appeals shall consist of seven members who are residents of the City of Bloomington, Illinois, and all of whom shall be appointed by the Mayor and approved by the City Council.

(3) Powers and duties.

(a) To conduct administrative public hearings, make findings of fact, and recommend approval or disapproval to the City Council of applications for special uses (§ **44-1707**);

(b) To conduct administrative public hearings, make findings of fact, and decide duly initiated appeals from any administrative order, requirement, decision, or determination made by the Director of Development Services or his or her deputies or assistants in the enforcement of this Zoning Code;

(c) To conduct administrative public hearings, make findings of fact and grant or deny variations in the manner provided herein;

(d) To hear appeals of decisions made pursuant to the Sign Code relating to the denial of permits, the removal of illegal signs or the granting of variances, except when said appeal is related to construction specifications of signs, in which case said appeal shall be heard by the Construction Board of Appeals pursuant to Chapter **10** of this Code; and

(e) To give advice to the Sign Code Administrator when requested.

(f) To establish or amend its procedural rules as necessary to facilitate the performance of its duties;

(g) To recommend to the City Council amendments to this Zoning Ordinance;



CITY OF BLOOMINGTON
ZONING BOARD OF APPEALS
NOVEMBER 19, 2025

Regular Agenda

Item	Case Number	Description
6.	---	New Business
7.	---	Adjournment



Next ZBA Meeting: December 17, 2025



Presentation to the Zoning Board of Appeals for the City of Bloomington

George Boyle

Assistant Corporation Counsel

November 19, 2025

I. Zoning Board Powers and Duties

A. §44-1702B 3 sets out the powers and duties of the Zoning Board

1. Of the seven functions listed, the two most frequently used have to do with special uses and variations.
- B. The zoning code gives the board the authority "to conduct administrative public hearings, make findings of fact, and recommend approval or disapproval to the City Council of applications for special uses as provided in §44-1707.
- C. Regarding variations, the board has authority to conduct administrative public hearings, make findings of fact, and grant or deny variations to the zoning code as provided in §44-1708.
- D. Special uses involve the making of a recommendation to the City Council.
- E. Variations are determined by the board but may be reviewable by the City Council.
- F. Both of these functions require the board to conduct administrative public hearings, to make findings of fact, and to make determinations based upon applying those findings of fact to the applicable standards set forth in the law.

II. Public Hearings

A. Types of Hearings

1. Administrative:
Board acts in a quasi-judicial capacity to adjudicate rights of interested parties. Interested parties can be the applicant, the city, persons owning property, or others whose interest are materially affected by the matter being adjudicated;
2. Legislative:
Public provides input on creating or amending laws and policies. Tend to be less formal than administrative hearings and do not address a specific application;
- B. The board primarily conducts administrative hearings. Administrative hearings require procedural due process.

III. Due Process

Due process = fairness

Due process requires notice and the opportunity to be heard.

A. Notice: a description of the subject of the hearing, as well as the time and place where it will be held.

B. The opportunity to be heard

The right to...

1. present evidence;
2. rebut adverse evidence;
3. cross examine witnesses (limited);
4. a neutral decisionmaker;
5. a decision based on evidence presented at the hearing;
6. a written decision with findings of fact applying the findings to the standards and setting forth the reasons for the decision.

IV. Common Issues with Due Process

A. Relevance of evidence

1. Only evidence relevant to the standards pertaining to the application should be considered by the board.
2. Potentially resolved by chair or commissioners encouraging presentation or discussion relevant to the standards at issue and discouraging introduction and discussion of evidence unrelated to the standards.

B. Ex Parte Communication

1. Ex parte communication is off the record communication between one party and the decisionmaker (board member);
2. Potentially resolved by
 - i. Discouraging ex parte communication
 - ii. Getting evidence or statements on the record

C. Conflicts of Interest (2 Kinds)

1. Direct financial or other material interest
2. Substantial connection to the case that interferes with neutral decision making
3. Potentially resolved through recusal

V. Form of Hearings

A. Introduction:

Chair announces the item that will be the subject of the hearing and briefly describes procedure

B. Staff Report:

Staff provides background on the application and may or may not recommend findings and a determination

C. Presentation of evidence:

1. Chair announces opening of public hearing;
2. Evidence and comments are to be provided by interested parties and the public;
3. Best practice for board members to ask questions to elicit evidence related to the standards, members should refrain from expressing opinions or commenting on the evidence until the board deliberation section;
4. Presentation and evidence from the applicant and those in support of the application;
5. Presentation and evidence of those opposed to the application, or who have questions about it;
6. An opportunity for the applicant to rebut evidence presented in opposition to the application;
7. Chair announces close of the evidentiary portion of the hearing.

D. Discussion of the evidence and relevant standards by the Board (This can be done either after a motion has been made or prior to the making of a motion).

E. The adoption of findings of fact and a decision on the application based upon the findings and relevant standards.

VI. Special Uses §44-1707

A. Defined as uses which, by their very nature and unique characteristics, cannot be permitted in a particular district without special consideration being given to the characteristic of surrounding property, as well as the site itself and the impact such use would have on adjoining property.

B. Categories of Special Uses

1. Uses publicly operated or traditionally serving a public interest;
2. Uses entirely private in character but of such an unusual nature that their operation may give rise to unique problems with respect to their impact upon neighboring property or public facilities.

C. Standards for approval. No special use application shall be recommended by the Zoning Board of Appeals or approved by the City Council unless all of the following factors are found:

1. That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, comfort, or general welfare;
2. That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already

permitted, nor substantially diminish and impair property values within the neighborhood;

3. That the establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district;
4. That adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided;
5. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
6. That the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may be modified by the Council pursuant to the recommendations of the Board of Zoning Appeals.

D. Conditions and restrictions can be placed on the special use.

VII. Variations §44-1708

A. Variations to the code may be granted when the variation is in harmony with the Zoning Code's general purpose and in specific instances where there would be practical difficulties or particular hardships in carrying out the strict letter of the Code.

B. Under no circumstances shall the Zoning Board of Appeals grant a variation that would allow a use of land not permissible or prohibited under the terms of the Code in the zoning district involved.

C. Standards for Variation

1. That the property has physical characteristics that pose unreasonable challenges which make strict adherence to the Code difficult; and
2. That the variance would be the minimum action necessary to afford relief to the applicant; and
3. That the special conditions and circumstances were not created by any action of the applicant; and
4. That granting the variation requested will not give the applicant any special privilege that is denied to others by the Code; and
5. That the granting of the variation will not be detrimental to the public welfare, alter the essential character of the neighborhood, nor unreasonable impair the use or development of adjoining properties.

D. Additional conditions and restrictions may be placed on variances.

VIII. Questions

If you have further questions, don't hesitate to reach out to the legal department at legal@cityblm.org or 309-434-2213.



Regular Agenda Item No. 5.A.

For Zoning Board of Appeals: February 18, 2026

Ward Impacted: Ward 7

Subject: Public hearing, review, and action on a request submitted by Vertical Bridge Development, LLC, for a Special Use Permit for a Wireless Communications Facility in the B-1 (General Commercial) District, for the property located at 1106 Interstate Dr. (PIN: 13-36-401-001), as requested by the Development Services Department.

Recommended Motion: Motion to establish findings of fact that all ***standards for approval*** of a Special Use Permit ***are met***, and to ***recommend approval*** of the request as submitted.

Strategic Plan:

Goal 2. Upgrade City Infrastructure and Facilities to Grow the Local Economy

Objective 2d. Well-designed, well maintained City facilities emphasizing productivity and customer service

Background: The Applicant seeks a Special Use Permit to allow a Wireless Communications Facility in the B-1 (General Commercial) District. Although § 44-502B of the Bloomington Zoning Ordinance indicates that this Utilities use is allowed as a Permitted Use in the B-1 District, Use Provision § 44-1037A.1.a specifies that new wireless towers may be permitted in the B-1 District only as a special use. The Applicant plans to lease a 13,500-sf tract of land from the McLean County Farm Bureau on a long-term basis to build a wireless communication facility. It would be operated by T-Mobile. According to the Applicant, the proposed location would provide high-speed wireless broadband access, fill a gap in the network where there is currently poor and/or insufficient coverage, and provide enhanced Emergency services to the community within the fairground and the surrounding Bloomington area. The proposed facility would provide the opportunity for additional cell carriers to improve and expand their own coverage by collocating at the new facility, which would include a 155-ft monopole and associated equipment within a 75-ft x 75-ft fenced compound (5,625 sf).

Community Groups/Interested Persons Contacted: Notice was published in *The Pantagraph* on January 21, 2026. Courtesy notices were mailed to ten property owners within 500 feet of the subject property.

Financial Impact: N/A

Attachments:

1. SP-08-25 - 1106 Interstate Dr - Staff Report
2. SP-08-25 - 1106 Interstate Dr - Attachment 6 - Application with exhibits

TO: ZONING BOARD OF APPEALS
FROM: Development Services Department
DATE: February 18, 2026
CASE NO: SP-08-25, Special Use Permit for Wireless Communication Facility
REQUEST: Public hearing, review, and action on a request submitted by Vertical Bridge Development, LLC, for a Special Use Permit for a Wireless Communications Facility in the B-1 (General Commercial) District, for the property located at 1106 Interstate Drive. PIN: 13-36-401-001.

BACKGROUND

Request

The Applicant seeks a Special Use Permit to allow a Wireless Communications Facility in the B-1 (General Commercial) District. Although § 44-502B of the Bloomington Zoning Ordinance indicates that this *Utilities* use is allowed as a Permitted Use in the B-1 District, Use Provision § 44-1037A.1.a specifies that new wireless towers may be permitted in the B-1 District only as a Special Use.

The Applicant plans to lease a 13,500-sf tract of land from the McLean County Farm Bureau, on a long-term basis, to build a Wireless Communication Facility. It would be operated by T-Mobile which is enhancing its network to provide improved cellular data and coverage in the City of Bloomington. According to the Applicant, the proposed location would provide high-speed wireless broadband access, fill a gap in the network where there is currently poor and/or insufficient coverage, and provide enhanced Emergency services to the community within the fairground and the surrounding Bloomington area. The proposed facility would provide the opportunity for additional cell carriers to improve and expand their own coverage by collocating at the new facility, which would include a 155-ft monopole and associated equipment within a 75-ft x 75-ft fenced compound (5,625 sf).

Notice

The application was filed in conformance with applicable procedural and public notice requirements. Notice was published in *The Pantagraph* on January 21, 2026. Courtesy notices were mailed to ten property owners within 500 feet of the subject property.

ANALYSIS

Property Characteristics

The subject property for the Special Use Permit consists of approximately 13,500 sf in the northeast corner of a 36.6-acre parcel owned by the Farm Bureau (PIN 13-36-401-001; Attachment 1 – Location Map). The Applicant is in the process of applying for a Preliminary Plan to subdivide the lease parcel from the underlying parent parcel, as required by § 24-215A Subdivision Regulations – Obligation to Comply. The subject property is undeveloped and adjacent to fairground activity, parking, and stormwater management areas, and neighboring farmland.

Surrounding Zoning and Land Uses (Attachment 2 – Zoning Map):

Zoning		Land Uses
North	B-1 (General Commercial) District	Undeveloped, Occ. Special Events
East	M-1 (Restricted Manufacturing) District, Town B-1 (General Business) District	Agriculture
South	M-1 (Restricted Manufacturing) District	Agriculture, Sports & Fitness Establishment
West	B-1 (General Commercial) District	Fairgrounds

The underlying 264-acre property was annexed into the City of Bloomington and the Town of Normal in 1995 (Doc. No. 95-28237). Approximately 130 acres was then platted as the three-lot Interstate Center Subdivision in 2004 (Doc. No. 2004-15809). In 2015, the McLean County Ag Expo (“Ag Expo”) – an associated entity of the Farm Bureau – dedicated right-of-way to the Town of Normal for a future extension of Enterprise Drive, separating the large parcel into two smaller parcels (Doc. No. 2015-22115). In 2025, Vertical Bridge (dba VB BTS III, LLL) entered into a Memorandum of Option to Lease with the Ag Expo for the parcels to the north and south of Enterprise Drive Extended; the Applicant prefers to site the tower facility south of the adjacent right-of-way (Doc. No. 2025-11053).

Description of Current Zoning District: B-1 (General Commercial) District

The intent of this B-1 General Commercial District is to facilitate the development of community and regional commercial areas. Customers in this district will generally use a motor vehicle to reach a desired establishment. The development contemplated in this district has such distinguishing characteristics as unified site planning and development that promotes a safe and conducive atmosphere for large volumes of shoppers; site accessibility such that the high volumes of traffic generated create minimal congestion and adverse impact upon surrounding land use; and unified architectural treatment of buildings rather than an assemblage of separate, conflicting store and structural types (§ 44-501A).

Subject Code Requirements:

§ 44-502B, “Allowed Uses Table” indicates a Wireless Communications Facility use is Permitted in the B-1 (General Commercial) District.

§ 44-1037 “Wireless communication facilities” Use Provisions specify that **new** wireless towers may be permitted in B-1 only as a Special Use (§ 44-1037E.1.a).

STANDARDS FOR REVIEW

The Zoning Board of Appeals (ZBA) shall hold at least one public hearing on any proposed Special Use and report to the Council its findings of fact and recommendations. Recommendations shall be made upon the determination that the Special Use meets all of the Standards of Approval listed in § 44-1707.H and discussed below.

Special Use Permit for Wireless Communication Facility in the B-1 (General Commercial) District.

- 1. The establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, comfort, or general welfare.**

The Applicant states that the proposed use would fully comply with the Federal Communications Commission’s (FCC) standards for radio frequency (RF) emissions and would not be detrimental to the welfare of the area (see Attachment 6, Exhibit C – “Certification of Compliance”).

Staff note that the facility would not generate smoke, fumes, dust, glare, noise, odors, sewage or waste. The facility would be located sufficiently far away from actively-used areas of the property, reducing concerns from catastrophic fall events. Regarding RF emissions, the Federal Government has preempted local governments from regulating cell tower siting based solely on environmental or health concerns related to RF emissions, and staff direct Planning Commission members not to consider the environmental effects of RF emissions in their decision, as the proposed facility must meet all FCC regulations.^{1, 2} Section 704 of the 1996 Telecommunications Act states:

“Sec. 704. Facilities Siting; Radio Frequency Emission Standards.

B. Limitations.

(iv) No State or local government or instrumentality thereof may regulate the placement, construction, and modification of personal wireless service facilities on the basis of the environmental effects of radio frequency emissions to the extent that such facilities comply with the Commission's regulations concerning such emissions.”

Staff find that the proposed use would not be detrimental to the public health, safety or general welfare. **Standard is met.**

2. **The Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

Staff find that the proposed use would not affect the use or enjoyment of the neighborhood properties for uses already permitted, and the use would be expected to maintain property values within the neighborhood, which includes fairground and agricultural uses. In addition, existing commercial businesses will benefit from the improved wireless signal which has been reported to be a problem during times of high public attendance in the area. **Standard is met.**

3. **The establishment of the Special Use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district.**

Staff find that the proposed use would not affect the development of surrounding properties, which are zoned for commercial and industrial uses. **Standard is met.**

4. **Adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided.**

Staff note that access to the site is provided via existing private roads and access easements, and that no additional utilities or infrastructure (water, sanitary sewer, natural gas, waste collection) would need to be provided. A subdivision that will be necessary as a result of the long-term land lease will address obligations related to drainage and long-term access from the north. **Standard is met.**

5. **Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

Staff note that access to the site is provided via existing private roads and access easements, and no additional post-construction traffic would be generated other than occasional maintenance visits. **Standard is met.**

¹ **Federal Communications Commission.** https://bit.ly/TelecommAct_FCC-FAQ. “FCC Fact Sheet: New National Wireless Tower Siting Policies.” Accessed: January 7, 2026.

² **Connecticut General Assembly.** https://bit.ly/TelecommAct-1996_OLR. “Telecommunications Act of 1996.” Accessed: January 7, 2026.

6. **The Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may be modified by the Council pursuant to the recommendations of the Board of Zoning Appeals.**

Staff find that the proposed use would not violate the applicable regulations of the B-1 zoning district, including setback, height, bulk, or performance standards. Site Plan Review, per § 44-1709, will be conducted prior to the issuance of building permits. **Standard is met.**

Use Provisions for Wireless communication Facility - § 44-1037.

- A. Applicability.** The proposed facility is not one of the listed exempt uses.
- B. Application.** The submitted application provided all of the required information, including but not limited to: scope of work and description of equipment (see Exhibit AA – Letter of Intent), site plan (see Exhibit A – Site Plan), lighting plan (none proposed), inventory of existing wireless facilities (see Exhibit E – RF Engineer’s Statement”, photo-simulations (see Exhibit I – Visual Impact Analysis), maintenance plan (see Exhibit F – “Maintenance”), and evidence of compliance with FAA standards (see Exhibit D – Determination of No Hazard to Air Navigation”).
- C. Residential facilities.** Not applicable.
- D. Non-substantial changes.** Not applicable.
- E. New wireless towers.**
- 1) Location. The proposed facility complies with the allowance as a Special Use in B-1.
 - 2) Co-location. The applicant has demonstrated that all possible avenues for co-location of antennas on existing towers or base stations have been investigated (see Attachment 6, Exhibit E – “Statement of RF Engineer”).
 - 3) Bulk standards. The proposed facility meets the requirements for lot size, and setbacks, as well as separation requirements from other wireless facilities over a 70-foot height (see Attachment 6, Exhibit A – “Zoning Drawings”).
 - 4) Capacity. The proposed facility provides space for the equipment of two additional service providers (see Attachment 6, Exhibit AA – Letter of Intent (page 1), and Exhibit B – “Tower Design”).
 - 5) Concealment. The proposed facility has been located away from residential zones, would be an off-gray steel finish to blend naturally into the background, and be shielded by evergreen hedges. Exhibit I (Photo-sims) shows what the tower will look like from different vantage points.
 - 6) Review period. The City must approve or deny the application for a new wireless facility within 150 days of submission.
 - 7) Review findings. The Planning Commission’s decision must be made in writing, and based upon substantial evidence. Conditions of approval may be imposed on the following conditions:
 - a. RF emissions. The City shall not impose new conditions relating to, or deny an application on the basis of, radio frequency emissions. All facilities shall comply with the FCC standards for radio frequency emissions, which are deemed adequate to protect public health and welfare. The Applicant states: “As shown in Exhibit C, the tower and equipment will fully comply with the FCC standards for RF emissions.”
 - b. Property values. Findings of fact related to property values of nearby land shall be documented by expert testimony and the written analysis of a qualified professional, such as an appraiser or mortgage broker, based on a study for that specific location. The Applicant states: “we acknowledge that the City may consider findings of fact related to the

property values of nearby land, as documented by expert testimony and the written analysis of a qualified professional, such as an appraiser or mortgage broker.”

c. Documented need for a new tower.

- i. The proposed facility cannot be accommodated on an existing structure, as there are none in the Applicant’s search area of sufficient height.
- ii. There are no existing structures within the Applicant’s search area that are capable of accommodating the new antenna, so the proposed antenna’s potential for damaging such a structure is moot.
- iii. There are no existing structures of sufficient height within the Applicant’s search area (see Attachment 6, Exhibit E – “Statement of RF Engineer”).
- iv. There are no other unforeseen reasons noted that make it unfeasible to locate the proposed facility on an existing structure.

F. The proposed facility must meet all requirements of City Code Chapter 10 “Building Code.”

G. The proposed facility will have only site identification signage including emergency contact information, “No Trespassing” signage, and safety signage required by the FCC.

H. The Applicant agrees to remove the proposed facility at their own cost if it is unused for one year, and agrees to repay the City if the City removes the facility if the Applicant fails to remove it on their own volition.

STAFF RECOMMENDATION

Staff find that the application **meets** all the standards for a Special Use Permit and recommend that the Zoning Board of Appeals take the following action:

Motion to establish findings of fact that all **standards for approval** of a Special Use Permit **are met**, and to **recommend approval** of the request as submitted.

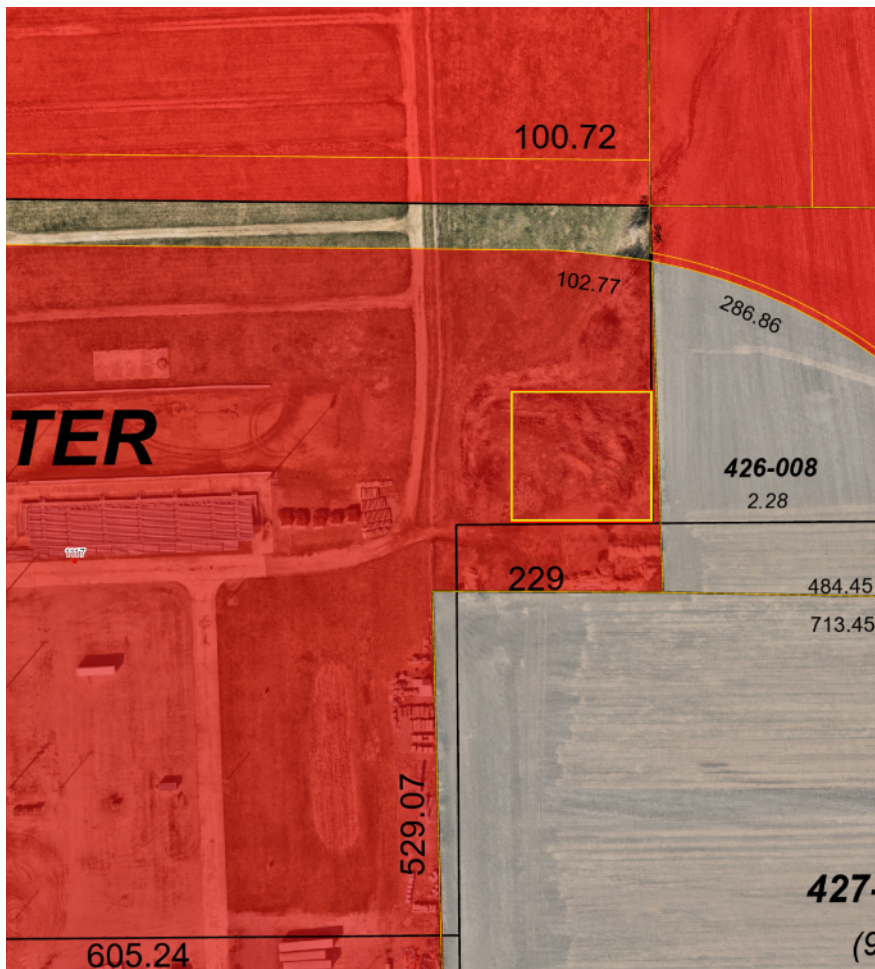
Respectfully submitted,
Marcus Ricci, AICP
Planner III

Attachments:

1. Location Map
2. Zoning Map
3. Utilities Map
4. Site Photographs
5. Neighborhood notice map
6. Application and Site Plan (separate attachment)
 - o Exhibit AA – Letter of Intent
 - o Exhibit A – Site Plan
 - o Exhibit B – Tower Design
 - o Exhibit C – Certificate of Compliance
 - o Exhibit D – Determination of No Hazard to Air Navigation
 - o Exhibit E – RF Engineer Statement
 - o Exhibit F – Maintenance Plan
 - o Exhibit G – Zoning Map
 - o Exhibit H – Co-location Analysis Map
 - o Exhibit I – Visual Impact Analysis



Attachment 1 – Location Map



Attachment 2 – Zoning Map

Attachment 3 – Utilities Map



Attachment 4 – Site photographs



Figure 1. Looking northeast from southwest access.



Figure 2. Looking east into subject property (above).



Figure 3. Looking south towards detention basin (below).

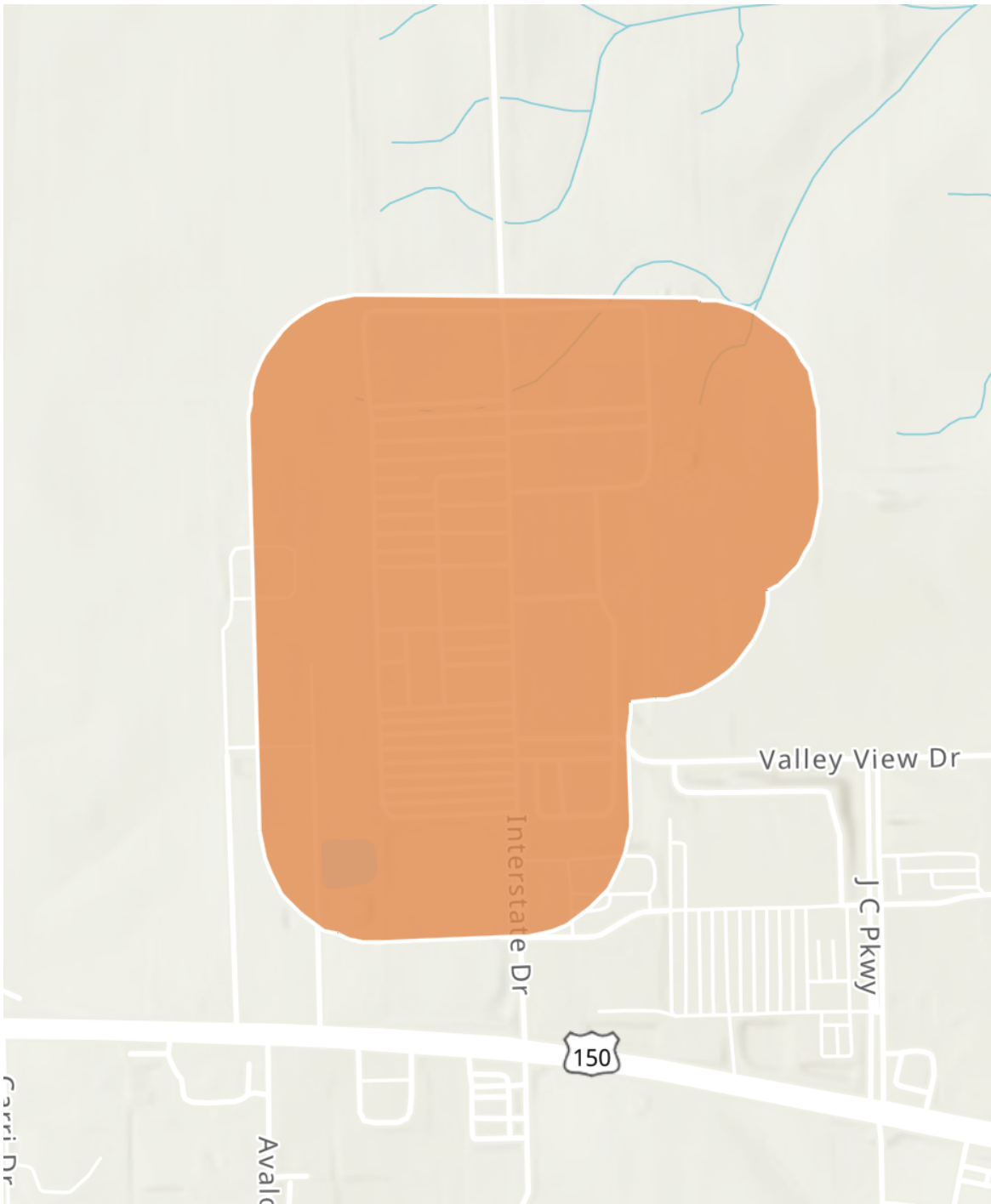


Figure 4. Looking west towards track with floodlights (above)..



Figure 5. Looking north along track bleachers towards floodlight (left).

Attachment 5 – Neighborhood notice map



Attachment 6 - Application and Site Plan

Land Use Applications

ZONE-25-23

Submitted On: Sep 24, 2025

Applicant

 Mike Daubenmire
 216-462-8631
 mike.daubenmire@kimley-horn.com

Primary Location

1106 INTERSTATE DR
BLOOMINGTON, IL 61705

Applicant Contact Information

Applicant Name or Business Name

Vertical Bridge

Phone Number

(216) 230-4304

Is this property owned by the applicant?

No

You will need to provide proof of property owner permission (see attachments).

I would like to add additional parties to this application

true

Additional Parties are contacts who should be able to access the details of this application and receive copies of key documents and notifications.

Examples include: an engineer, legal representative, or financially responsible party for the project. **If the property owner would like to be copied on these communications you should list them here also.**

Additional Parties (Optional)

Property Owner Information

Property Owner Name

McLean County Farm Bureau

Phone Number

(309)663-6497

Email

anna@mcfb.org

Mailing Address

Street Address

2242 Westgate Drive

City

Bloomington

State

IL

Zip Code

61705

Application

Please check all that apply.

Note: not all items may be reviewed concurrently. Multiple

Site Plan Review

--

Attachment 6 - Application and Site Plan

Public Hearings may be required.

Special Use Permit

true

Zoning Map Amendment (Rezoning)

--

S-4 (Historic Preservation) Designation

--

Annexation Agreement

--

Annexation Petition

--

Variation to the Zoning Code (Variance)

--

Has this project already been discussed with the Planning Division, or been reviewed by the Project Review Group?

No

Please note: Application and filing fees are not refundable. We strongly recommend you speak with the Planning Division or attend a Project Review Group meeting before applying.

Is this property subject to any Home Owner's Association, Restrictive Covenants, or other deed restrictions?

No

Does this property or business hold any licenses from the City? Ex: liquor, business, or video gaming licenses

No

Legal Description of Property

THE CITY OF BLOOMINGTON, COUNTY OF MCLEAN, AND STATE OF ILLINOIS, THE FOLLOWING DESCRIBED REAL ESTATE:

TRACT I

INTERSTATE CENTER SUB PT LOT 1 LYG IN SE 36-24-1E (EX BEG NW COR LOT 5 WEST GATE PLAZA SUB 1ST ADD, N121.35', E408.51', S116.72', W408.60' TO POB) 38.1 ACRES

PARCEL ID: 13-36-401-001

THIS BEING A PORTION OF THE SAME PROPERTY CONVEYED TO MCLEAN COUNTY AG EXPO, AN ILLINOIS NOT FOR PROFIT CORPORATION, IN A DEED FROM MCLEAN COUNTY FARM BUREAU., AN ILLINOIS NOT FOR PROFIT CORPORATION, DATED 12/7/2010 AND RECORDED 12/20/2010 AS INSTRUMENT NO. 2010-00033335.

AND

TRACT II

INTERSTATE CENTER SUB PT LT 1 LYG IN NE SEC 36-24-164.04 ACRES

PARCEL ID: 13-36-200-019

THIS BEING THE SAME PROPERTY CONVEYED TO MCLEAN COUNTY AG EXPO, AN ILLINOIS NOT FOR PROFIT CORPORATION, IN A DEED FROM MCLEAN COUNTY FARM BUREAU., AN ILLINOIS NOT FOR PROFIT CORPORATION, DATED 12/7/2010 AND RECORDED 12/20/2010 AS INSTRUMENT NO. 2010-00033335

Parcel Identification Number(s) (PIN)

13-36-401-001

The legal description of your property may be found on the deed of your property that was provided to you at time of purchase.

For Long descriptions you may type "attached" and provide a WORD document as an attachment.

Project Summary

Brief Project Description and Justification

Proposed Wireless Tower Facility (155' Monopole Tower with associated equipment within a 75' x 75' fenced compound.

Current Use of Property

B-1

Attachment 6 - Application and Site Plan

What (if any) alternatives have been considered or pursued before applying for this request?

As provided, there are no collocation opportunities within the area identified by T-Mobile's RF Engineers, and this property allows the site to meet all of the requirements outlined in **Chapter 44, Article X, Section 44-1037: Wireless Communication Facilities of the municipal code.**

Special Use Permit

Have you discussed this proposal with nearby property owners?

No

Required Documents and Submittals:

- Short project description, including any waivers requested for the subject Use Provisions
- Property characteristics, including Parcel ID Number (PIN) and current zoning
- Legal description of the property, in text format
- Written consent from property owner, if not the same as the applicant
- Legible Site Plan, including property lines, proposed locations new/changed structures, and other items relevant to this petition (see § 44-1707 for additional Site Plan requirements)
- Written statement addressing all of the "Findings of Fact" listed below.

Alternatively, you may provide an attachment that addresses each of the standards by uploading below and typing "attached" in the explanation boxes.

Special Use Requested:

Wireless Communications Facility

Are any waivers required to Use Provisions associated with this project? (Check if yes)

--

Discuss whether the establishment, maintenance, or operation of the special use could be detrimental to or endanger the public health, safety, comfort or general welfare.

Attached. Detail provided in Letter of Intent, and application documentation

Discuss whether the special use could be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, and how you will ensure it does not substantially diminish and impair property values within the neighborhood.

Attached. Detail provided in Letter of Intent, and application documentation

Discuss whether the establishment of the special use will impede the normal and orderly development and improvement of the surrounding property for uses permitted in the zoning district.

Attached. Detail provided in Letter of Intent, and application documentation

Discuss whether adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided.

Attached. Detail provided in Letter of Intent, and application documentation

Discuss whether adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

Attached. Detail provided in Letter of Intent, and application documentation

Attachment 6 - Application and Site Plan

Discuss whether the special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may be modified by the Council pursuant to the recommendations of the Board of Zoning Appeals.

Attached. Detail provided in Letter of Intent, and application documentation

Acknowledgement

Applicant Signature

true

EXHIBIT AA

September 24, 2025

City of Bloomington, IL
Planning Division
115 E. Washington St. 201
Bloomington, IL 61702

RE: *Project Narrative Description for a Special Use Permit to Locate a New Wireless Communications Facility at 1106 Interstate Dr, Bloomington, IL 61705 (Parcel No. 13-36-401-001).*

Dear Members of the Planning Division,

Please accept this letter, along with the attached documents, as part of our formal application for Special Use Approval from **Vertical Bridge** in conjunction with **T-Mobile** to install a 159ft monopole tower and associated antenna equipment within a 75' x 75' fenced compound located at 1106 Interstate Dr, Bloomington, IL 61705 (Parcel No. 13-36-401-001).

T-Mobile is looking to enhance their network and to provide improved cellular data and coverage in the City of Bloomington through the installation of a new wireless communications tower in partnership with Vertical Bridge. The proposed location will provide high-speed wireless broadband access, fill a gap in the network where there is currently poor, too little coverage, and provide enhanced E-911 services to the community within the fairground, and the surrounding Bloomington area. The proposed infrastructure will provide the opportunity for additional cell carriers to improve and expand their coverage while also eliminating the need for an additional facility within the surrounding area.

Vertical Bridge and T-Mobile are seeking a special use permit for the wireless communications facility based on the criteria outlined in **Chapter 44, Article X, Section 44-1037: Wireless Communication Facilities**. The property of the proposed telecommunications facility is currently zoned B1 Highway Business, which permits wireless communications facilities as a special use.

In addition to the wireless communication facility complying with the standards stated in **Chapter 44, Article X, Section 44-1037** of the code, the proposed monopole tower and associated equipment will not create smoke, fumes, odors, dust, glare, or noise pollution. No water services, sanitary facilities, gas services, or garbage disposal/pick-up services are needed. Current traffic will not be affected as the proposed facility is unmanned and unstaffed and may be visited by maintenance personnel minimally as needed for servicing or

in the case of emergencies. The existing landscaping will be preserved to the greatest extent possible, and all disturbed areas will be restored in kind. Soil erosion control measures will comply with the local regulations as may be required by the city and other local authorities.

Please review this letter along with all documentation provided in which Vertical Bridge intends to comply with the Bloomington Municipal Code along with the attached documents as requested in the following sections of the Municipal Code and as outlined in the Application for the Wireless Communication Facility:

Chapter 44, Article X, Section 1037 Wireless Communication Facilities.

A. Applicability. Every wireless communication facility located within the City of Bloomington is subject to the standards of this section, except for the facilities in Subsections 1-5 that are exempt:

Response: Applicant has reviewed the facilities listed within Subsections 1-5 of Section A, and confirms that the proposed wireless tower facility does not fall within any of the exempt facilities listed.

B. Application. An application for a Wireless Communication Facility shall be submitted on a form prepared by the City of Bloomington and shall include the following:

- (1) Name and address of applicant and property owner as well as primary and secondary contact information for the applicant.

Response: The required applicant and property owner contact information is as follows, and will be provided on the Special Use Application as well.

Vertical Bridge – 700 Park of Commerce Drive, Suite 200, Boca Raton, FL

33487, Attn: Jeanette Davis, (612) 290-7218, jeanette.davis@verticalbridge.com

Kimley-Horn – 3875 Embassy Parkway, Suite 280, Akron, OH 44333, Attn: Mike

Daubenmire, (216) 230-4304, mike.daubenmire@kimley-horn.com

McLean County Farm Bureau - 2242 Westgate Drive, Bloomington, IL 61705,

Attn: Anna Ziegler (Manager), (309)663-6497, anna@mcfb.org

- (2) Summary and scope of work to be completed on the site, including the nature of any changes to the site or any existing facility. The applicant additionally shall state whether he or she believes that the request is eligible for the sixty-day review period of Section 6409(a) of the Spectrum Act, as provided in § 44-1037D of this Code.

Response: The applicant is proposing to construct a new wireless tower facility including a 155' monopole, with associated equipment, within a 75' x 75' fenced compound. For a complete scope of work, please see the enclosed Zoning

Drawings (Exhibit A). Applicant confirms that this application is not eligible for the review period outlined in Section 6409(a) of the Spectrum Act applies to this application.

- (3) Description of proposed equipment, including the equipment type, specification, installation status, mount type and a manufacturer's certification by a licensed structural engineer regarding the structural integrity of the antenna facility and evidence of compliance with Federal Communication Commission's radio frequency emission standards.

Response: Enclosed as Exhibit B, is the tower design stamped by a licensed structural engineer, showing the equipment type, specifications, and mount that the tower is structurally designed for. Additionally, attached is the Certification of Compliance (Exhibit C) provided by T-Mobile's RF Engineer, confirming that all of the frequencies used are licensed with the FCC and full comply with the FCC's emission standards.

- (4) A site plan indicating the property boundaries, setbacks, elevations, and dimensions of the proposed facility.

Response: Please see Exhibit A, which includes the site plan, and provides all of the information required in this section.

- (5) Lighting plans for any new exterior lighting to be installed on the site.

Response: In accordance with Exhibit D (FAA DNH), the tower will not require any lightning, and the applicant will conform with the requirements and recommendations outlined by the FAA. Applicant will provide specifications on the work lights to be installed by T-Mobile on their equipment within the construction drawings that will be submitted to the city for the building permit.

- (6) For new towers and substantial changes, the following additional information shall be submitted:

- (a) A site plan indicating the location of the proposed wireless communication facility, supporting equipment and accessory utility buildings, and all existing structures on the property and within 200 feet of the facility.

Response: Please see Exhibit A for details on the proposed wireless communication facility, and Sheet C-1 of the same which shows all existing structures within 200' of the proposed facility.

- (b) A written description or map of the proposed service area for desired coverage or capacity and documentation that the proposed facility would provide such coverage or capacity.

Response: For a coverage/capacity distribution map and written description of the service area from T-Mobile, please see attached Exhibit E.

- (c) An inventory of the existing wireless communication facilities, including existing transmission equipment and such equipment located on silos, water tanks, buildings, etc.

Response: T-Mobile has provided an inventory map on all of their facilities within McClean County within Exhibit E.

- (d) Photo-simulation or other graphic illustration of the proposed wireless communication facility, including the location of existing and new facilities, proposed concealment elements and paint color specifications.

Response: Enclosed are the Photo Simulations (Exhibit I) showing the existing and proposed views towards the wireless tower facility from three different locations within the city.

- (7) Maintenance plan. A description of anticipated maintenance needs, including frequency of service personnel needs, equipment needs, and traffic, noise, and safety impacts of such maintenance.

Response: Applicant has provided a maintenance plan attached as Exhibit F, which provides details for the ongoing maintenance needs for the site. As mentioned previously within this letter of intent, the site will be unmanned and visited minimally for routine maintenance or in case of emergency, and will not create smoke, fumes, odors, dust, glare, or noise pollution, and will not have an impact on current traffic.

- (8) Evidence of compliance with Federal Aviation Administration standards and/or "Airport Hazard Zoning Regulations for Bloomington-Normal Airport."

Response: As noted previously, enclosed is the FAA documentation (Exhibit D) providing evidence of applicant's compliance with the FAA standards.

C. Permitted facilities on protected residential property. Wireless communication facilities shall be permitted on, as an accessory structure on Protected Residential Property and shall conform to the requirements outlined in Subsections (1) through (6)

Response: The applicant is applying for a special use permit to construct a new wireless tower within a Business District (B-1), so this section does not apply to this application.

D. Review Procedures for Non-Substantial Changes (“Eligible Facilities Request”).

Response: The applicant is applying for a special use permit to construct a new wireless tower within a Business District (B-1), so this section does not apply to this application.

E. New wireless towers and substantial changes to existing towers and base stations.

1. Location.

- a. New wireless towers may be permitted as a special use only in the A Agriculture District; B-1 General Commercial District; B-2 Local Commercial District; P-2 Public Lands and Institutions District; and the Manufacturing Districts.

Response: As shown on the zoning map attached as Exhibit G, the proposed tower is located within a B-1 General Business District.

- b. A substantial change to an existing tower or base station shall require approval of, or modification to, a special use in any Agricultural, Residential, Business or Special Public Interest District. In Manufacturing Districts, a substantial change shall require approval by the Director of Development Services.

Response: This application is for a new tower, so this section does not apply to the application.

- c. Non-exempt Distributed Antenna Systems (DAS) and small cells that are not subject to § 44-1037D shall require approval of a special use in any Residential District, the D-1 Central Business District, D-2 Downtown Transitional District or D-3 Warehouse District. In all other districts, DAS and small cells shall require approval by the Director of Economic Development Services.

Response: This application is for a new tower, so this section does not apply to the application.

- 2. Applicants for new wireless towers shall demonstrate that all possible avenues for co-location of antennas on existing towers or base stations have been investigated.

Response: As noted in Exhibit E, by T-Mobile’s RF engineer, there are no existing structures of sufficient height within the area of need, available for collocation. Due to the specific area targeted by T-Mobile, the search area was primarily the fairground property due to the proximity between their three closest existing sites, and any locations off that property were determined to not be viable options.

- 3. Bulk Standards.

- a. Lot size. The minimum lot size for any wireless tower shall be equal to the minimum required lot size for the zoning district in which the facility is to be located.

Response: Parcel 13-36-401-001 is +/-35 acres, far exceeding minimum lot requirements for Business district found in section §44-503 of the code.

- b. Setback. The minimum setback shall be maintained for the zoning district where the proposed antenna facility site is located; additionally, a setback of 200% of the antenna facility height shall be maintained from buildings used for dwellings, day-care centers, elementary or secondary schools or playgrounds in order to minimize the adverse effects of falling ice or damage due to antenna facility collapse.

Response: 200% for proposed tower height 155' equals a setback distance of 310'. The nearest residential property is approximately .5 miles from the proposed site, so the proposed location exceeds this setback requirement.

- c. Equipment cabinets and supporting equipment. All equipment cabinets and structures accessory to a wireless communication facility shall meet the minimum setback requirements of the zoning district in which the wireless communication facility is located. Such structures shall be screened from view in accordance with § 44-908 of this Code.

Response: Compound will be secured with chain link fence to a height of 6' and screened with a buffer composed of evergreen hedges as shown in Exhibit A. Additionally, the fence from the two nearest property lines is 27'-10" to the south, 28'-3" to the east, exceeding the 5' setback requirement in a B-1 district.

- d. To encourage co-location of commercial antennas, all new wireless towers exceeding 70 feet in height shall not be located within one quarter mile (1,320 feet) of any other wireless tower that exceeds 70 feet in height.

Response: Attached is Exhibit H, is a map showing a quarter mile radius of the proposed tower location, and no existing towers over 70' are located within this area.

4. Capacity. A new tower shall be designed to accommodate the applicant's planned transmission equipment and capacity for at least one additional comparable user.

Response: As shown Exhibit B, the tower will be structurally designed to accommodate two additional carriers, exceeding this requirement.

5. Concealment. The applicant shall demonstrate that reasonable efforts have been made to reduce the visual impact of new towers. The City may impose conditions of approval on a special use for any new wireless communication facility or substantial change to a wireless communication facility requiring one more forms of concealment which include but are not limited to: screening, blending into architectural elements, placement of facilities in locations where topography, vegetation or other physical features reduce their view, and designing wireless towers to appear as other structures such as light poles or flag poles.

Response: To minimize visual impact on City of Bloomington residents and visitors, tower has been located away from residential zones and will be left an off-gray steel finish to blend naturally into the background. The facility and equipment at ground level will be shielded by evergreen hedges. Please see Exhibit I for a visual of what the tower will look like from certain vantage points within the City of Bloomington.

6. Review period. The City shall approve or deny a complete application for a co-location or substantial modification within 90 days of submission and shall approve or deny a complete application for a new wireless tower within 150 days of submission.

Response: Applicant acknowledges that the City shall approve or deny this application within 150 days of the date that the application is submitted.

7. Review findings. A decision to approve or deny an application shall be made in writing based upon substantial evidence. Conditions of approval may be imposed as provided in this subsection and Article XVII.
- a. The City shall not impose new conditions relating to, or deny an application on the basis of, radio frequency emissions. All facilities shall comply with the FCC standards for radio frequency emissions, which are deemed adequate to protect public health and welfare.
- Response: As shown in Exhibit C, the tower and equipment will fully comply with the FCC standards for RF emissions.**
- b. Findings of fact related to property values of nearby land shall be documented by expert testimony and the written analysis of a qualified professional, such as an appraiser or mortgage broker, based on a study for that specific location.
- Response: Applicant acknowledges that the City may consider findings of fact related to the property values of nearby land, as documented by expert testimony and the written analysis of a qualified professional, such as an appraiser or mortgage broker.**

- c. The Planning Commission shall find that a proposed new wireless tower cannot be accommodated on an existing tower or building within the coverage or capacity area of the proposed tower due to one or more of the following reasons:

- i. The planned antenna or transmission equipment would exceed the structural capacity of all existing or approved towers or buildings, as documented by a qualified and licensed professional engineer, and all of the existing or approved towers cannot be reinforced, modified, or replaced to accommodate the planned or equivalent antennas or transmission equipment at a reasonable cost.

Response: There are no existing towers or structures of sufficient height available for collocation within T-Mobiles identified search area, so this section does not apply to the applicant.

- ii. The planned antenna would cause interference materially impacting the usability of other existing or planned antenna at a tower or building as documented by a qualified and licensed engineer and such interference cannot be prevented at a reasonable cost.

Response: There are no existing towers or structures of sufficient height available for collocation within T-Mobiles identified search area, so this section does not apply to the applicant.

- iii. Existing or approved towers and buildings within such the coverage or capacity area cannot accommodate the planned antenna or transmission equipment at a height necessary to function according to the documented coverage or capacity needs as determined by a qualified and licensed professional engineer; and

Response: There are no existing towers or structures of sufficient height available for collocation within T-Mobiles identified search area, so this section does not apply to the applicant.

- iv. Other unforeseen reasons that make it unfeasible to locate the planned antenna or transmission equipment upon an existing or approved tower or building.

Response: There are no existing towers or structures of sufficient height available for collocation within T-Mobiles identified search area.

F. Other codes. The installation and construction of wireless communication facilities shall comply with Bloomington City Code Chapter 10, as adopted.

Response: The applicant agrees and acknowledges that its installation and construction must comply with the application sections set forth in Chapter 10 of the municipal code. Furthermore, all work shall be performed in accordance with all of the codes referenced on Seet T-1 of Exhibit A.

G. Signage. Wireless communication facilities shall not contain any form of signage other than warning or equipment information signs.

Response: For documentation of signage, please see Exhibit A, Sheet C-6. The only signs proposed will be a site identification signage that includes emergency contact information, No Trespassing Signage, and safety signage required to be posted by the FCC.

H. Abandonment. Wireless communication facilities that remain unused for more than one year shall be removed at their owner's cost. In the event that such abandoned wireless communication facilities are not removed within one year of the cessation of operations at the site, the tower, base station, or transmission equipment may be removed by the City and the costs of such removal assessed against the owner of such facility or the property owner.

Response: The applicant agrees to comply with this section, by removing the wireless telecommunications facility if unused for a period of one year at their own cost, and if fails to do so, and the facility is removed by the City, the applicant acknowledges and agrees to be responsible for the costs associated with such removal.

In Summary, we believe that the proposed wireless telecommunications facility meets the intent of **Chapter 44, Article X, Section 44-1037** of the Municipal Code, and appreciate your review and consideration for a Special Use Approval.

If you have any questions or require any additional information, please reach out to me directly.

Sincerely,

Mike Daubenmire

Mike Daubenmire

Kimley-Horn | 3875 Embassy Parkway, Suite 280, Akron, OH 44333

Direct: 216 230 4304 | Mobile: 330 462 8631 | mike.daubenmire@kimley-horn.com

Attachment 6 - Application and Site Plan

Docusign Envelope ID: EC8AB821-5F40-4A0D-8D47-20DDAEFC3C27

ENTRY AGREEMENT

THIS ENTRY AGREEMENT (“**Agreement**”) is made and entered into as of October 1, 20 24 (the “**Effective Date**”) and is by and between **McLean County Ag Expo**, an Illinois not for profit corporation (“**Grantor**”), and **VB BTS II, LLC**, a Delaware limited liability company (“**Grantee**”), concerning property controlled by Grantor having an address of 1106 Interstate Drive, Bloomington, IL 61705 and more commonly known as Site Number: US-IL-5871, Site Name: Bloomington West (the “**Property**”).

WHEREAS, Grantor and Grantee desire to provide for the entry upon, and use of, the Property for the limited purposes outlined herein and pursuant to the terms contained in this Agreement.

NOW, THEREFORE, in consideration of the mutual promises, covenants, undertakings, and other consideration set forth in this Agreement, Grantor and Grantee agree as follows:

1. Consent. Grantor consents and agrees that Grantee and its employees, contractors, agents, engineers, surveyors and other representatives (“**Authorized Parties**”) may enter upon the Property for purposes of performing required evaluation of the property to meet federal, state and county requirements, consisting of National EPA, Fish and Wildlife evaluation, Native American and Historical filings, survey staking, as well as soil geological testing only (“**Permitted Activities**”). Grantee represents and warrants that such access is for the purpose of the above described activities and for no other purpose. Grantee shall under no circumstances modify, alter, disturb, or damage in any way the Property.

2. Access. Commencing as of the Effective Date, Grantor agrees that the Authorized Parties may enter upon the Property to perform the Permitted Activities for a period of one hundred twenty (120) days following the execution of this Agreement, on regular business days during the hours of 8:00AM and 5:00PM (and other hours as may be reasonably necessary when approved by Grantor in advance). To the extent possible, operation of motor vehicles should be limited to the gravel access roads. Notwithstanding the foregoing, Grantor may terminate this Agreement at any time and for any reason upon five (5) days written notice to Grantee.

3. Damage to Real and Personal Property. If at any time Grantee shall do or cause to be done, any damage as the result of the Authorized Parties use, acts, errors, or omissions or the Permitted Activities, Grantee, shall be responsible for all costs and expenses for the restoration / repair of said damaged area and/or real and personal property.

4. Indemnity. Grantee agrees to indemnify, hold harmless, and defend Grantor and its affiliates, its respective directors, officers, managers, equity holders, agents, lenders, representatives, and employees (the “**Owner Indemnified Parties**”) from and against any and all claims, actions, damages, liability and expense in connection with personal injury and/or damage to property arising from or out of any occurrence in, upon or at the Property arising out of (i) the Authorized Parties use of the Property; (ii) caused by the act or omission of the Authorized Parties in conducting the Permitted Activities; or (iii) any negligence or other wrongful act or omission on the part of Grantee. Any defense conducted by Grantee of any such claims, actions, damages, liability and expense will be conducted by attorneys chosen by Grantee, reasonably acceptable to Grantor, and Grantee will be liable for the payment of any and all court costs, expenses of litigation, reasonable attorneys’ fees and any judgment that may be entered therein. The indemnification obligations shall survive the expiration or termination of this Agreement.

3.15.2023 form

VB Site #: US-IL-5871
VB Site Name: Bloomington West

Attachment 6 - Application and Site Plan

Docusign Envelope ID: EC8AB821-5F40-4A0D-8D47-20DDAEFC3C27

5. Insurance. Grantee shall insure against property damage and bodily injury arising by reason of occurrences on or about the Property by Grantee or Authorized Parties in the amount of not less than

The insurance coverage provided for herein may be maintained pursuant to master policies of insurance covering other communication facilities of Grantor and its corporate affiliates. All insurance policies required to be maintained by Grantor hereunder shall be with responsible insurance companies, authorized to do business in the State where the Property is located if required by law, and shall provide for cancellation only upon ten (10) days' prior written notice to Grantor. Grantee shall evidence such insurance coverage by delivering to Grantor, if requested, a copy of a certificate of insurance of such policies issued by the insurance companies underwriting such risks.

6. Term and Survival. Commencing as of the Effective Date, this Agreement, unless earlier terminated by Grantee in writing, shall be for a period of one hundred twenty (120) days. Sections 3, 4, and 5 of this Agreement shall survive any termination or expiration of this Agreement for a period of one (1) year.

7. Governing Law. The parties agree that the interpretation and construction of this Agreement shall be governed by the laws of the state in which the Property is located, without regard to such state's conflict of laws provisions.

8. GRANTOR, FOR ITSELF AND ON BEHALF OF ALL GRANTOR'S AFFILIATES, SPECIFICALLY DISCLAIMS, AND GRANTEE EXPRESSLY WAIVES, ANY WARRANTY, GUARANTY, OR REPRESENTATION, ORAL OR WRITTEN, EXPRESS OR IMPLIED, PAST, PRESENT, OR FUTURE, OF, AS, TO, OR CONCERNING: THE NATURE AND CONDITION OF THE PROPERTY, INCLUDING, WITHOUT LIMITATION, THE IMPROVEMENTS AND STRUCTURES LOCATED THEREON, AND THE SUITABILITY OF THE PROPERTY, IMPROVEMENTS, AND STRUCTURES FOR ANY AND ALL PERMITTED ACTIVITIES THAT GRANTEE MAY ELECT TO CONDUCT THEREON; THE COMPLIANCE OF THE PROPERTY OR THE OPERATION THEREOF WITH ANY LAWS, RULES, ORDINANCES, OR REGULATIONS OF ANY GOVERNMENTAL AUTHORITY OR OTHER BODY, INCLUDING; ANY OTHER MATTER AFFECTING THE STABILITY OR INTEGRITY OF THE PROPERTY OR IMPROVEMENTS THEREON; AND WARRANTIES (EXPRESS OR IMPLIED) OF CONDITION REGARDING THE FITNESS OF THE PROPERTY FOR A PARTICULAR PURPOSE, MERCHANTABILITY, TENANTABILITY, HABITABILITY, OR SUITABILITY FOR ANY INTENDED USE.

[Signatures on following page]

Attachment 6 - Application and Site Plan

Docusign Envelope ID: EC8AB821-5F40-4A0D-8D47-20DDAEFC3C27

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the Effective Date (date last signed by a party).

Grantor:

McLean County Ag Expo
an Illinois not for profit corporation

By: Brian L Dicks
Name: Brian L Dicks
Title: President
Date: 10/1/24

Grantee:

VB BTS II, LLC
a Delaware limited liability company

Signed by:
By: Randy Wilson
Name: Randy Wilson
Title: VP Development
Date: 10/2/2024

Leasing Ops DS
LJ

Attachment 6 - Application and Site Plan

SITE: Bloomington West
SITE ID #: US-IL-5871

PARENT PARCEL (AS PROVIDED - SHOWN FOR INFORMATIONAL PURPOSES ONLY)

THE CITY OF BLOOMINGTON, COUNTY OF MCLEAN, AND STATE OF ILLINOIS, THE FOLLOWING
DESCRIBED REAL ESTATE:

TRACT I

INTERSTATE CENTER SUB PT LOT 1 LYG IN SE 36-24-1E (EX BEG NW COR LOT 5 WEST GATE PLAZA SUB
1ST ADD, N121.35', E408.51', S116.72', W408.60' TO POB) 38.1 ACRES

PARCEL ID: 13-36-401-001

THIS BEING A PORTION OF THE SAME PROPERTY CONVEYED TO MCLEAN COUNTY AG EXPO, AN ILLINOIS
NOT FOR PROFIT CORPORATION, IN A DEED FROM MCLEAN COUNTY FARM BUREAU., AN ILLINOIS NOT
FOR PROFIT CORPORATION, DATED 12/7/2010 AND RECORDED 12/20/2010 AS INSTRUMENT NO. 2010-
00033335.

AND

TRACT II

INTERSTATE CENTER SUB PT LT 1 LYG IN NE SEC 36-24-164.04 ACRES

PARCEL ID: 13-36-200-019

THIS BEING THE SAME PROPERTY CONVEYED TO MCLEAN COUNTY AG EXPO, AN ILLINOIS NOT FOR
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00033335

OWNER: McLean County Ag Expo, An Illinois Not For Profit Corporation
ADDRESS: 1106 Interstate Dr, Bloomington, IL 61705
TAX PARCEL ID #: 13-36-200-019 & 13-36-401-001

Attachment 6 - Application and Site Plan

SITE: Bloomington West
SITE ID #: US-IL-5871

TOWER LEASE (AS CREATED)

THAT PART OF LOT 1 IN INTERSTATE CENTER SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 23 NORTH, RANGE 1 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF THE SOUTHEAST QUARTER AND NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 24 NORTH, RANGE 1 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE CITY OF BLOOMINGTON, AS PER PLAT THEREOF RECORDED MAY 13, 2004 AS DOCUMENT NUMBER 2004-00015809 IN MCLEAN COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 4 IN RESUBDIVISION OF PART OF LOTS 1 AND 2 IN INTERSTATE CENTER SUBDIVISION, BEING A SUBDIVISION IN THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 24 NORTH, RANGE 1 EAST OF THE THIRD PRINCIPAL, AS PER PLAT THEREOF RECORDED DECEMBER 2, 2009 AS DOCUMENT NUMBER 2009-00036443 IN MCLEAN COUNTY, ILLINOIS; THENCE NORTH 2°10'42" WEST ALONG THE EASTERLY LINE OF AFORESAID LOT 1, FOR A DISTANCE OF 379.06 FEET TO A SOUTHERLY LINE OF SAID LOT 1; THENCE NORTH 88°54'14" EAST ALONG SAID SOUTHERLY LINE, 111.32 FEET; THENCE NORTH 1°05'46" WEST, 15.39 FEET TO THE POINT OF BEGINNING; THENCE NORTH 1°05'46" WEST, 100.00 FEET; THENCE NORTH 88°54'14" EAST, 100.00 FEET; THENCE SOUTH 1°05'46" EAST, 100.00 FEET; THENCE SOUTH 88°54'14" WEST, 100.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 10,000 SQUARE FEET (0.230 ACRES), MORE OR LESS.

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SITE: Bloomington West
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CONTAINING 21,989 SQUARE FEET (0.505 ACRES), MORE OR LESS.

OWNER: McLean County Ag Expo, An Illinois Not For Profit Corporation
ADDRESS: 1106 Interstate Dr, Bloomington, IL 61705
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Attachment 6 - Application and Site Plan

SITE: Bloomington West
SITE ID #: US-IL-5871

NON-EXCLUSIVE ACCESS & UTILITY EASEMENT "B" (AS CREATED)

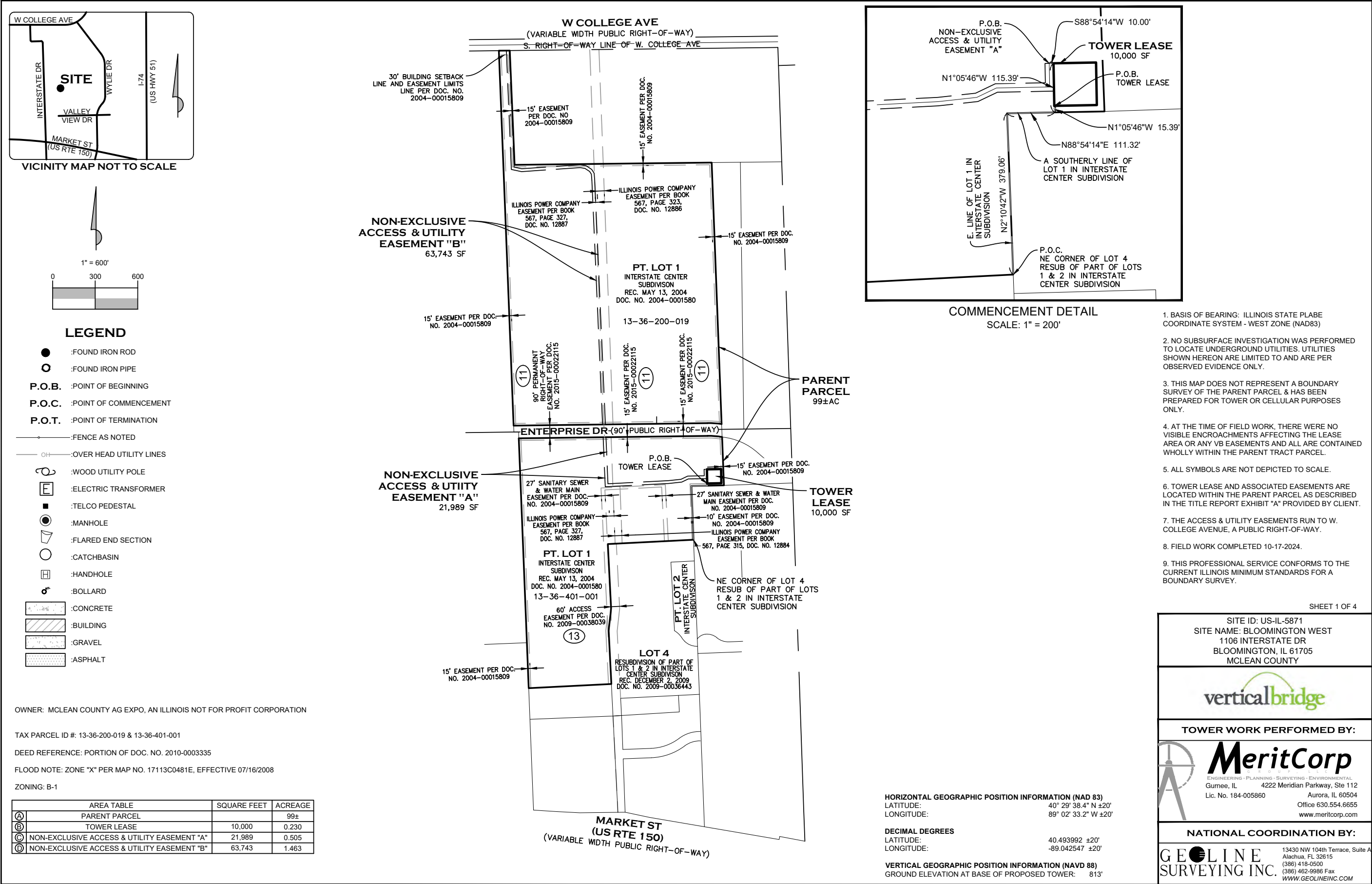
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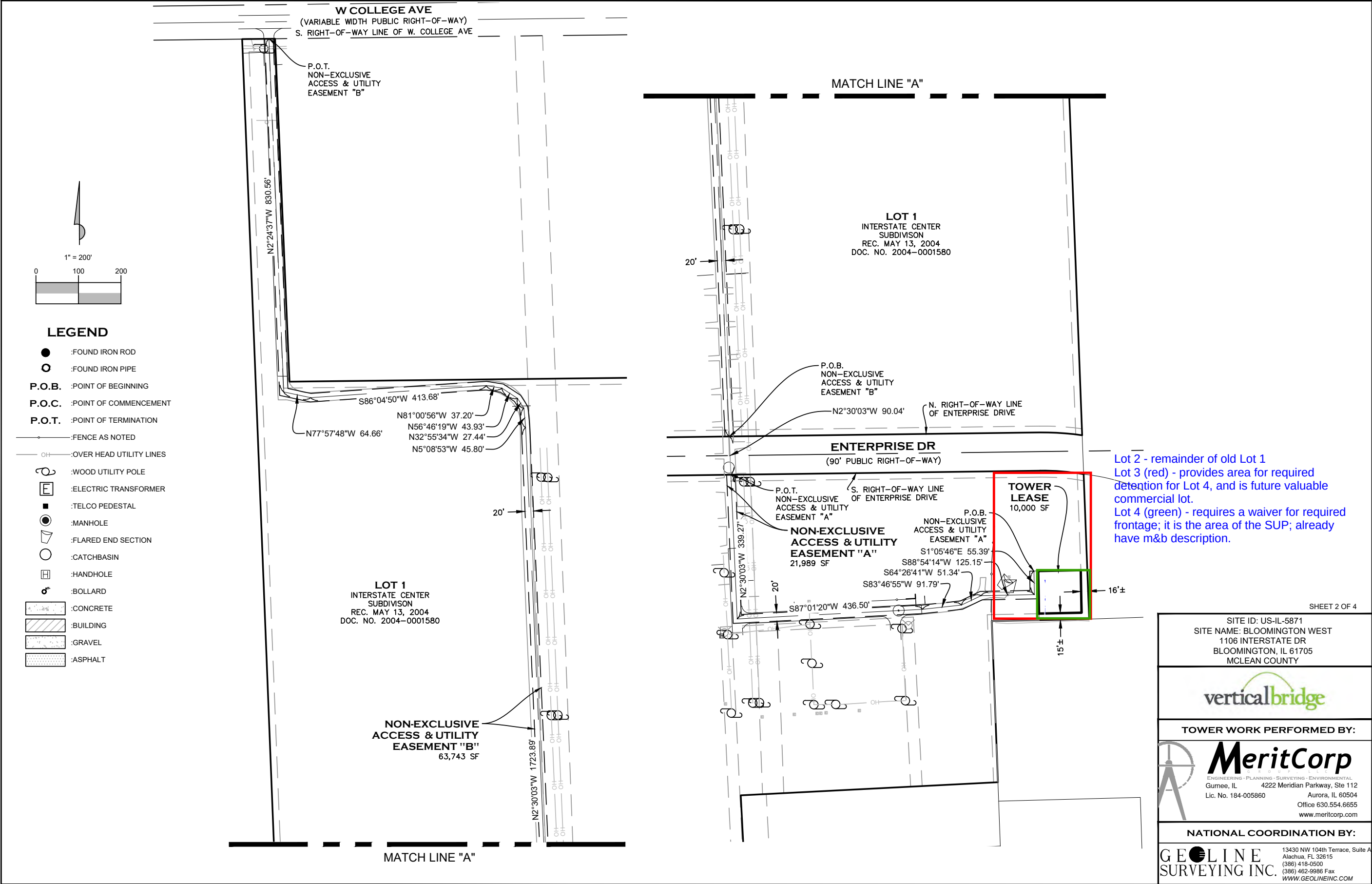
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CONTAINING 63,743 SQUARE FEET (1.463 ACRES), MORE OR LESS.

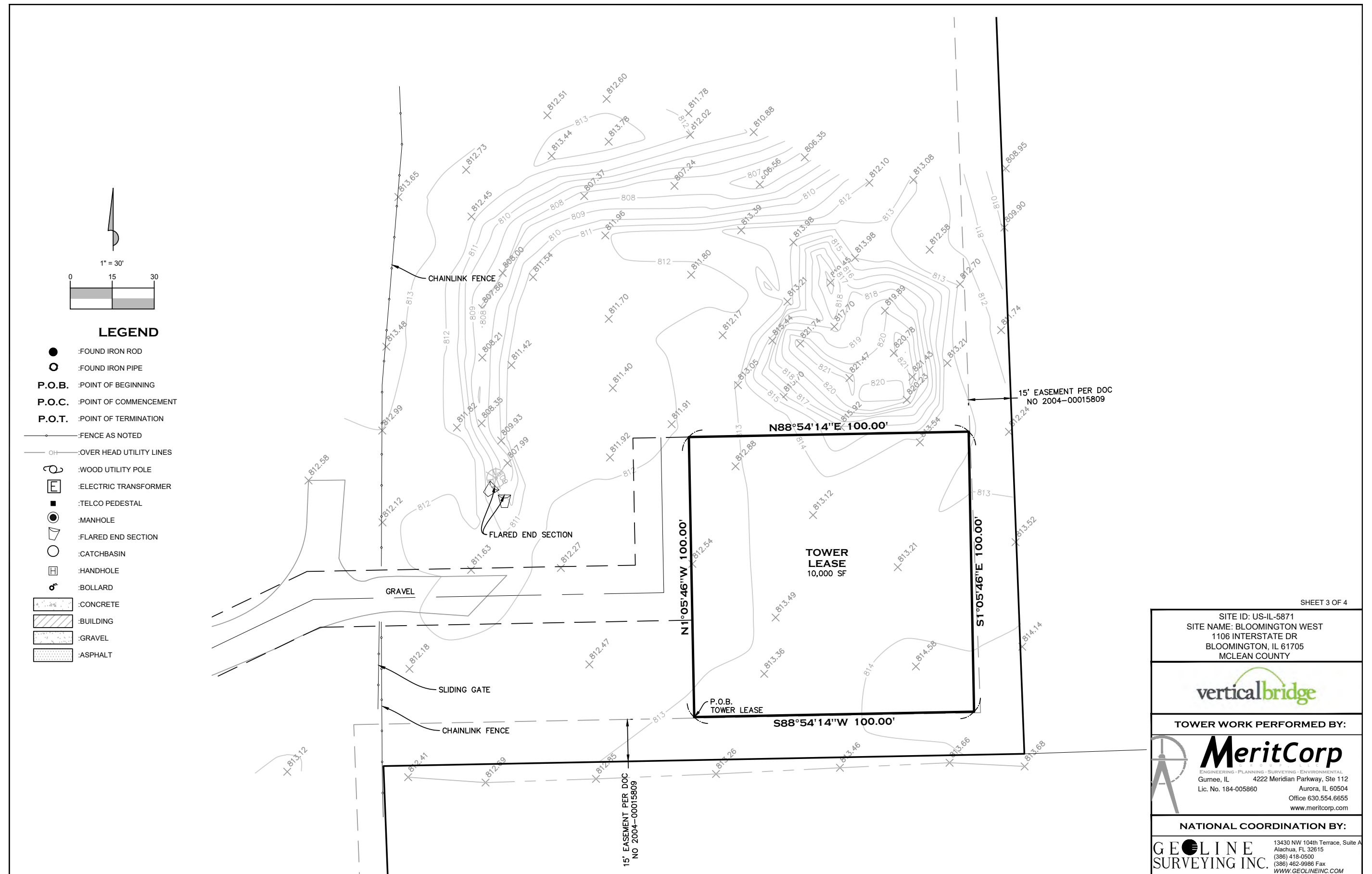
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Attachment 6 - Application and Site Plan





Attachment 6 - Application and Site Plan



TITLE REVIEW - SCHEDULE B-II, SURVEY RELATED ITEMS

- TOWER TITLE, LLC, COMMITMENT NUMBER VTB-188146-C, EFFECTIVE DATE OF SEPTEMBER 23, 2024 - SCHEDULE B-II SURVEY RELATED ITEMS WERE REVIEWED FOR THIS MAPPING.
- ITEMS 1 - 9: **NOT THE TYPE OF ITEM TO BE SHOWN HEREON.**
10. AN ORDINANCE FOR APPROVAL OF THE FINAL OF INTERSTATE CENTER SUBDIVISION DATED MARCH 8, 2004 AND RECORDED MARCH 8, 2004 IN (INSTRUMENT) 2004-15809, IN MCLEAN COUNTY, ILLINOIS. **APPLIES TO PARENT PARCEL, DOCUMENT CONTAINS NO PLOTTABLE EASEMENTS OR ENCUMBRANCES.**
11. PERMANENT RIGHT-OF-WAY EASEMENT BETWEEN MCLEAN COUNTY AG EXPO, AN ILLINOIS NOT-FOR-PROFIT CORPORATION; AND TOWN OF NORMAL, ILLINOIS, DATED OCTOBER 21, 2015 AND RECORDED NOVEMBER 23, 2015 IN (INSTRUMENT) 2015-00022115, IN MCLEAN COUNTY, ILLINOIS. **APPLIES TO PARENT PARCEL AS SHOWN HEREON.**
12. EASEMENT FOR ELECTRICAL TRANSFORMER AND ACCESS BETWEEN INTERSTATE CENTER, INC., AN ILLINOIS CORPORATION; AND BIRKEY'S FARM STORE, INC., A DELAWARE CORPORATION, DATED DECEMBER 1, 2009 AND RECORDED DECEMBER 15, 2009 IN (INSTRUMENT) 2009-00038041, IN MCLEAN COUNTY, ILLINOIS. **APPLIES TO PARENT PARCEL, EASEMENT IS BLANKET IN NATURE.**
13. RECIPROCAL EASEMENT FOR ACCESS AND AGREEMENT PERTAINING TO MAINTENANCE BETWEEN BIRKEY'S FARM STORE, INC., AN ILLINOIS CORPORATION; AND INTERSTATE CENTER, INC., AN ILLINOIS CORPORATION, DATED DECEMBER 1, 2009 AND RECORDED DECEMBER 15, 2009 IN (INSTRUMENT) 2009-00038039, IN MCLEAN COUNTY, ILLINOIS. **APPLIES TO PARENT PARCEL AS SHOWN HEREON.**
14. TURN AROUND EASEMENT AGREEMENT BETWEEN INTERSTATE CENTER, INC., AN ILLINOIS CORPORATION; AND THE CITY OF BLOOMINGTON, ILLINOIS, A MUNICIPAL CORPORATION, DATED JUNE 15, 2004 AND RECORDED JUNE 22, 2004 IN (INSTRUMENT) 2004-00021241, IN MCLEAN COUNTY, ILLINOIS. **DOES NOT APPLY TO PARENT PARCEL.**
15. TERMS AND CONDITIONS OF AN UNRECORDED AGREEMENT, AS EVIDENCED BY A(N) MAINTENANCE AGREEMENT BETWEEN INTERCHANGE CITY WEST, L.L.C., AN ILLINOIS LIMITED LIABILITY COMPANY AND MCLEAN COUNTY AG EXPO, AN ILLINOIS NOT-FOR-PROFT CORPORATION, DATED JULY 9, 2013 AND RECORDED AUGUST 2, 2013 IN (INSTRUMENT) 2013-00019941, IN MCLEAN COUNTY, ILLINOIS. **DOES NOT APPLY TO PARENT PARCEL.**
16. TERMS AND CONDITIONS OF AN UNRECORDED AGREEMENT, AS EVIDENCED BY A(N) RIGHT OF FIRST REFUSAL AGREEMENT BETWEEN INTERSTATE CENTER, INC., AN ILLINOIS CORPORATION AND BIRKEY'S FARM STORE, INC., A DELAWARE CORPORATION, DATED DECEMBER 1, 2009 AND RECORDED DECEMBER 15, 2009 IN (INSTRUMENT) 2009-00038040, IN MCLEAN COUNTY, ILLINOIS. **APPLIES TO PARENT PARCEL, DOCUMENT CONTAINS NO PLOTTABLE EASEMENTS OR ENCUMBRANCES.**
17. ENVIRONMENTAL DISCLOSURE DOCUMENT FOR TRANSFER OF REAL PROPERTY BETWEEN INTERSTATE CENTER, INC; AND EBACH DEVELOPMENT PROPETIERS, INC, DATED SEPTEMBER 1, 2000 AND RECORDED SEPTEMBER 1, 2000 IN (INSTRUMENT) 200031598, IN MCLEAN COUNTY, ILLINOIS. **APPLIES TO PARENT PARCEL, DOCUMENT CONTAINS NO PLOTTABLE EASEMENTS OR ENCUMBRANCES.**
18. ORDIANANCE NO 724 DATED JULY 11, 1996 AND RECORDED JULY 11, 1996 IN (INSTRUMENT) 96-19343, IN MCLEAN COUNTY, ILLINOIS. **APPLIES TO PARENT PARCEL, DOCUMENT CONTAINS NO PLOTTABLE EASEMENTS OR ENCUMBRANCES.**
19. PETITION FPR AMENDMENT TO ANNEXATION AGREEMENT DATED MAY 17, 1996 AND RECORDED JUNE 6, 1996 IN (INSTRUMENT) 96-15445, IN MCLEAN COUNTY, ILLINOIS. **APPLIES TO PARENT PARCEL, DOCUMENT CONTAINS NO PLOTTABLE EASEMENTS OR ENCUMBRANCES.**

TOWER LEASE (AS CREATED)

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THE CITY OF BLOOMINGTON, COUNTY OF MCLEAN, AND STATE OF ILLINOIS, THE FOLLOWING DESCRIBED REAL ESTATE:

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PARCEL ID: 13-36-401-001

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AND

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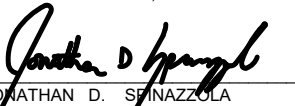
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PARCEL ID: 13-36-200-019

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WE, MERITCORP GROUP LLC, DO HEREBY CERTIFY TO: VERTICAL BRIDGE REIT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUBSIDIARIES, AND THEIR RESPECTIVE SUCCESSORS AND/OR ASSIGNS; TORONTO DOMINION (TEXAS) LLC, AS ADMINISTRATIVE AGENT, FOR ITSELF AND ON BEHALF OF THE LENDERS PARTIES FROM TIME TO TIME TO THAT CERTAIN SECOND AMENDED AND RESTATED LOAN AGREEMENT DATED JUNE 17, 2016 WITH VERTICAL BRIDGE HOLDCO, LLC, AS BORROWER, AND VERTICAL BRIDGE HOLDCO PARENT, LLC, AS PARENT, AS MAY BE AMENDED, RESTATED, MODIFIED OR RENEWED, THEIR SUCCESSORS AND ASSIGNS AS THEIR INTERESTS MAY APPEAR; SOLIDIFI TITLE & CLOSING, LLC; AND TOWER TITLE, LLC.

MERITCORP GROUP, LLC



JONATHAN D. SPINAZZOLA
LAND SURVEYOR - IL #3868

DATE: 10/29/2024
DATE OF LAST REVISION 11/8/2024
CURRENT LICENSE EXP. 11/30/2026



SHEET 4 OF 4

SITE ID: US-IL-5871
SITE NAME: BLOOMINGTON WEST
1106 INTERSTATE DR
BLOOMINGTON, IL 61705
MCLEAN COUNTY



TOWER WORK PERFORMED BY:



MeritCorp
ENGINEERING - PLANNING - SURVEYING - ENVIRONMENTAL
Gumee, IL 4222 Meridian Parkway, Ste 112
Lic. No. 184-005860 Aurora, IL 60504
Office 630.554.6655
www.meritcorp.com

NATIONAL COORDINATION BY:



13430 NW 104th Terrace, Suite A
Alachua, FL 32615
(386) 418-0500
(386) 462-9986 Fax
WWW.GEOLINEINC.COM

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Page 62 of 103

<u>GENERAL PROJECT NOTES</u> 1. THE ENGINEER SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT ON A ONE TIME BASIS. 2. THE CONTRACTOR SHALL TOPSOIL AND SEED ALL DISTURBED AREAS. 3. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA, EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE SHOWN OR MAY NOT BE SHOWN; AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. 48 HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL 811. 4. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL OF THE ENGINEER. 5. THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT. 6. THE CONTRACTOR SHALL RESTORE ALL PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD OF CONDITION AS BEFORE DISTURBED AS DETERMINED BY THE ENGINEER. 7. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS. 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC. 9. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF THE STATE LICENSED LAND SURVEYOR. 10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS, AND COORDINATE WORK WITH ALL CONTRACTS FOR THE SITE. 11. ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE JURISDICTIONS STATE CODE AND OSHA REGULATIONS FOR CONSTRUCTION. 12. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK. 13. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE ENGINEER AND THE UTILITY OWNER. NOTIFY THE ENGINEER AND THE UTILITY OWNER 24 HOURS BEFORE EACH AND EVERY CONNECTION TO EXISTING SYSTEMS IS MADE. 14. MAINTAIN FLOW FOR ALL EXISTING UTILITIES. 15. ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS UNLESS NOTED OTHERWISE ON THE DRAWINGS. 16. CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE COMPOUND AND THE TOWER. 17. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS-BUILT PLANS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND HIS REPRESENTATIVES, AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR ADMISSIONS TO THE SATISFACTION OF THE OWNER AND HIS REPRESENTATIVES BEFORE UTILITIES WILL BE ACCEPTED. AS-BUILTS SHALL INCLUDE ALL POWER, TELEPHONE, GROUNDING, ETC. 18. TOWER FOOTING DIMENSIONS SHALL BE VERIFIED WITH THE TOWER MANUFACTURER AND THE TOWER PLANS.	<u>EXCAVATIONS/FOUNDATION</u> A. FOUNDATION EXCAVATION SHALL BE HAND-TRIMMED TO REMOVE LOOSE MATERIALS. B. EXTERIOR FOUNDATION BACKFILL SHALL BE SELECTED GRANULAR FILL. C. ALL STRUCTURAL BACKFILL AND SUBBASE UNDER SLABS-ON-GRADE AND FOOTINGS SHALL BE "SW" OR BETTER PER ASTM D-2487 COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY PER ASTM D 698. D. DO NOT PLACE FOOTINGS IN WATER OR ON FROZEN GROUND. E. SOIL BEARING SURFACES, PREVIOUSLY ACCEPTED BY GEOTECHNICAL ENGINEER, WHICH ARE ALLOWED TO BECOME SATURATED, FROZEN OR DISTURBED SHALL BE REWORKED TO SATISFACTION OF GEOTECHNICAL ENGINEER. F. DO NOT ALLOW GROUND BENEATH FOOTINGS TO FREEZE. G. FOOTING EXCAVATIONS SHALL BE CUT NEAT. <u>CONCRETE</u> A. DESIGN AND CONSTRUCTION OF ALL CONCRETE ELEMENTS SHALL CONFORM TO THE LATEST EDITIONS OF THE FOLLOWING APPLICABLE CODES: ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"; B. MIX DESIGN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING CONCRETE. C. CONCRETE SHALL BE NORMAL WEIGHT, 6% AIR ENTRAINED ($\pm 1.5\%$) WITH A MAXIMUM 4" SLUMP, AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE NOTED. D. MAXIMUM AGGREGATE SIZE SHALL BE 1". E. THE FOLLOWING MATERIALS SHALL BE USED: <table style="margin-left: 20px; border: none;"> <tr> <td>PORTLAND CEMENT:</td> <td>ASTM C 150, TYPE I</td> </tr> <tr> <td>REINFORCEMENT:</td> <td>ASTM A 615, GRADE 60</td> </tr> <tr> <td>NORMAL WEIGHT AGGREGATE:</td> <td>ASTM C 33</td> </tr> <tr> <td>WATER:</td> <td>DRINKABLE</td> </tr> <tr> <td>ADMIXTURES:</td> <td>NON-CHLORIDE CONTAINING</td> </tr> </table> F. REINFORCING SHALL CONFORM TO ASTM A-615 WITH SUPPLEMENT. MINIMUM YIELD STRENGTH $F_y = 60$ KSI. REINFORCING DETAILS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 315. G. CONCRETE COVER AROUND REINFORCING BARS (U.N.O.) SHALL BE: 1. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED EARTH.....3" 2. CONCRETE EXPOSED TO EARTH, WEATHER.....2" 3. SLABS.....3/4" 4. ALL OTHER CONCRETE.....1 1/2" H. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REINFORCEMENT SPLICES SHALL MEET CLASS B, TENSION LAP REQUIREMENTS IN ACCORDANCE WITH ALL PROVISIONS OF ACI 318 LATEST EDITION, UNLESS NOTED OTHERWISE.	PORTLAND CEMENT:	ASTM C 150, TYPE I	REINFORCEMENT:	ASTM A 615, GRADE 60	NORMAL WEIGHT AGGREGATE:	ASTM C 33	WATER:	DRINKABLE	ADMIXTURES:	NON-CHLORIDE CONTAINING	<u>STRUCTURAL STEEL NOTES</u> A. STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITION OF THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS". B. STEEL ANGLES, BASE PLATES, BEARING PLATES AND MISC. FABRICATION SHALL BE MADE FROM STEEL MEETING THE REQUIREMENTS OF ASTM-A36 WITH A MINIMUM YIELD STRESS OF 36 KSI. ALL STEEL TUBES AND PIPES SHALL BE A500 STEEL MINIMUM. C. ALL DINGS, SCRAPES, MARS, AND WELDS IN THE FINISHED AREAS SHALL BE REPAIRED BY FIELD TOUCH-UP PRIOR TO COMPLETION OF THE WORK. D. ALL EXTERIOR STRUCTURAL STEEL SHALL BE, WHEN DELIVERED, HOT-DIP GALVANIZED ACCORDING TO ASTM A123. TOUCH-UP FIELD WELDS AND ABRADED AREAS W/2 COATS OF GALVANIZED PAINT, ZRC COLD GALVANIZING COMPOUND OR APPROVED EQUAL. E. DO NOT PLACE HOLES THROUGH STRUCTURAL STEEL MEMBERS EXCEPT AS SHOWN AND DETAILED ON STRUCTURAL DRAWINGS. F. CONNECTIONS: 1. BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE. 2. NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A307 BOLTS UNLESS NOTED OTHERWISE. G. SAFETY NOTES: 1. THE CONTRACTOR WILL ADHERE TO ALL SAFETY REGULATIONS, LOCAL, STATE AND FEDERAL. 2. THE CONTRACTOR WILL CONDUCT DAILY SAFETY TAILGATE MEETINGS IN ADDITION TO WEEKLY SAFETY MEETINGS. THESE REPORTS WILL BE MADE AVAILABLE TO THE OWNER UPON REQUEST. 3. ALL WORKERS & VISITORS TO THE SITE SHALL WEAR HARD HATS & ANY OTHER SAFETY EQUIPMENT REQUIRED BY THE WORK BEING PERFORMED ON THE SITE.																				
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<u>GENERAL CONSTRUCTION NOTES</u> 1. GENERAL - THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. - CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE UNDERGROUND UTILITIES. - INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE APPROVAL. - EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS. - PAINT ALL ANTENNAS, MOUNTING HARDWARE, CABLES, CABLE TRAYS, ETC. TO MATCH EXISTING STRUCTURE PER OWNER REQUIREMENTS. OWNER SHALL APPROVE COLOR. - ALL DAMAGED, MARRED, SCRAPPED, ABRADED, ETC. AREAS OF EXISTING PAINT SHALL BE REPAIRED PER OWNERS REQUIREMENTS. OWNER SHALL APPROVE COLOR.																																
<u>GENERAL CONSTRUCTION NOTES CONT.</u> I. CURING COMPOUNDS SHALL CONFORM TO ASTM C-309. J. ADMIXTURES SHALL CONFORM TO THE APPROPRIATE ASTM STANDARD AS REFERENCED IN ACI-301. K. DO NOT WELD OR TACKWELD REINFORCING STEEL. L. ALL DOWELS, ANCHOR BOLTS, EMBEDDED STEEL, ELECTRICAL CONDUITS, PIPE SLEEVES, PIPING, WATERSTOPS, INSERTS, GROUNDS AND ALL OTHER EMBEDDED ITEMS AND FORMED DETAILS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT. M. LOCATE ADDITIONAL CONSTRUCTION JOINTS REQUIRED TO FACILITATE CONSTRUCTION AS ACCEPTABLE TO ENGINEER. PLACE REINFORCEMENT CONTINUOUSLY THROUGH JOINT. N. REINFORCEMENT SHALL BE COLD BENT WHENEVER BENDING IS REQUIRED. O. PLACE CONCRETE IN A UNIFORM MANNER TO PREVENT THE FORMATION OF COLD JOINTS AND OTHER PLANES OF WEAKNESS. VIBRATE THE CONCRETE TO FULLY EMBED REINFORCING. DO NOT USE VIBRATORS TO TRANSPORT CONCRETE THROUGH CHUTES OR FORMWORK. P. DO NOT PLACE CONCRETE IN WATER, ICE, OR ON FROZEN GROUND. Q. DO NOT ALLOW CONCRETE SUBBASE TO FREEZE DURING CONCRETE CURING AND SETTING PERIOD, OR FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT. R. FOR COLD-WEATHER AND HOT-WEATHER CONCRETE PLACEMENT, CONFORM TO APPLICABLE ACI CODES AND RECOMMENDATIONS. IN EITHER CASE, MATERIALS CONTAINING CHLORIDE, CALCIUM, SALTS, ETC. SHALL NOT BE USED. PROTECT FRESH CONCRETE FROM WEATHER FOR 7 DAYS MINIMUM. S. PROVIDE A STEEL TROWEL FINISH TO THE SLAB. <u>ANTENNA SUPPORT BRACKET NOTES (IF APPLICABLE)</u> A. DESIGN RESPONSIBILITY OF ANTENNA MOUNTING BRACKETS AND POLES AND ALL COMPONENTS THERE OF AND ATTACHMENT THERE TO SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER. MFR SHALL PROVIDE TO THE ENGINEER FOR APPROVAL, DRAWINGS DETAILING ALL COMPONENTS OF THE ASSEMBLY, INCLUDING CONNECTIONS, DESIGN LOADS, AND ALL OTHER PERTINENT DATA. B. BRACKETS SHALL BE DESIGNED TO SUPPORT CURRENT AND FUTURE PANEL ANTENNAS AND COAXIAL CABLES AS SHOWN.																																
<u>ABBREVIATIONS</u> <table style="font-size: small; border: none;"> <tr><td>CIGBE</td><td>COAX ISOLATED GROUND BAR EXTERNAL</td></tr> <tr><td>MIGB</td><td>MASTER ISOLATED GROUND BAR</td></tr> <tr><td>SST</td><td>SELF SUPPORTING TOWER</td></tr> <tr><td>GPS</td><td>GLOBAL POSITIONING SYSTEM</td></tr> <tr><td>TYP.</td><td>TYPICAL</td></tr> <tr><td>DWG</td><td>DRAWING</td></tr> <tr><td>BCW</td><td>BARE COPPER WIRE</td></tr> <tr><td>BFG</td><td>BELOW FINISH GRADE</td></tr> <tr><td>W/</td><td>WITH</td></tr> <tr><td>PVC</td><td>POLYVINYL CHLORIDE</td></tr> <tr><td>CAB</td><td>CABINET</td></tr> <tr><td>C</td><td>CONDUIT</td></tr> <tr><td>SS</td><td>STAINLESS STEEL</td></tr> <tr><td>G</td><td>GROUND</td></tr> <tr><td>AWG</td><td>AMERICAN WIRE GAUGE</td></tr></table>			CIGBE	COAX ISOLATED GROUND BAR EXTERNAL	MIGB	MASTER ISOLATED GROUND BAR	SST	SELF SUPPORTING TOWER	GPS	GLOBAL POSITIONING SYSTEM	TYP.	TYPICAL	DWG	DRAWING	BCW	BARE COPPER WIRE	BFG	BELOW FINISH GRADE	W/	WITH	PVC	POLYVINYL CHLORIDE	CAB	CABINET	C	CONDUIT	SS	STAINLESS STEEL	G	GROUND	AWG	AMERICAN WIRE GAUGE
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Page 63 of 103

Attachment 6 - Application and Site Plan

GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITY COMPANY OR OTHER PUBLIC AUTHORITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
3. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
5. THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
8. TRANSMITTER EQUIPMENT AND ANTENNAS ARE DESIGNED TO MEET ANSI/EIA/TIA 222-G REQUIREMENTS.
9. ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
10. CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
11. IF ANY UNDERGROUND UTILITIES OR STRUCTURES EXIST BENEATH THE PROJECT AREA, CONTRACTOR MUST LOCATE THEM AND CONTACT THE APPLICANT AND OWNER'S REPRESENTATIVE.
12. OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION BY TECHNICIANS APPROXIMATELY TWICE A MONTH.
13. PRIOR TO THE INSTALLATION OF THE PROPOSED EQUIPMENT OR MODIFICATION TO THE EXISTING STRUCTURE, A STRUCTURAL ANALYSIS SHALL BE PERFORMED BY THE OWNER'S AGENT TO CERTIFY THAT THE EXISTING/PROPOSED COMMUNICATION STRUCTURE AND COMPONENTS ARE STRUCTURALLY ADEQUATE TO SUPPORT ALL EXISTING AND PROPOSED ANTENNAS, COAXIAL CABLES AND OTHER APPURTENANCES.
14. PROPERTY LINE INFORMATION WAS PREPARED USING DEEDS, TAX MAPS AND PLANS OF RECORD AND SHOULD NOT BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY.
15. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
16. THE PROPOSED FACILITY WILL CAUSE ONLY A "DE MINIMIS" INCREASE IN STORM WATER RUNOFF, THEREFORE NO DRAINAGE STRUCTURES ARE PROPOSED.
17. NO SIGNIFICANT NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS FACILITY.
18. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION (NO HANDICAP ACCESS IS REQUIRED).
19. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
20. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.



700 PARK OF COMMERCE DRIVE #200
BOCA RATON FL, 33487
TEL: (561) 948-6367

PLANS PREPARED BY:

Kimley»Horn

3875 EMBASSY PARKWAY, SUITE 280
AKRON, OH 44333
PHONE (216) 505-7775
WWW.KIMLEY-HORN.COM

[illegible]

DRAWN BY: _____		CHECKED BY: _____	
TAM		MTD	

KHA PROJECT NUMBER: **KHCLE-80385**

ENGINEER SEAL: _____



09/10/2025
Exp: 11/30/2025

PROJECT INFORMATION: _____

US-IL-5871
BLOOMINGTON WEST

1106 INTERSTATE DR
BLOOMINGTON, IL 61705
MCLEAN COUNTY

SHEET TITLE: _____

GENERAL NOTES

SHEET NUMBER: _____

N-2



700 PARK OF COMMERCE DRIVE #200
BOCA RATON FL, 33487
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PLANS PREPARED BY:
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REV: DATE: DESCRIPTION: BY:

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TAM	MTD
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KHA PROJECT NUMBER:
KHCL-80385

ENGINEER SEAL:

09/10/2025
Exp: 11/30/2025

PROJECT INFORMATION:
US-IL-5871
BLOOMINGTON WEST
1106 INTERSTATE DR
BLOOMINGTON, IL 61705
MCLEAN COUNTY

SHEET TITLE:
AERIAL SITE PLAN

SHEET NUMBER:
C-1

Attachment 6 - Application and Site Plan

NOTES:

1. FENCED SITE AREA SHALL BE CLEARED AND GRUBBED. REMOVE UNSUITABLE SOFT OR LOOSE SOILS, ORGANIC MATERIAL AND OR RUBBLE TO FIRM SUBGRADE. FILL UNDERCUT UP TO 6 INCHES BELOW FINISH GRADE.
2. THE CONTRACTOR MUST CONTACT THE SURVEYOR TO STAKE OUT THE LEASE AREA AND ALL EASEMENTS PRIOR TO CONSTRUCTION. ALL FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. IF ANY ARCHAEOLOGICAL MATERIALS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE CLIENT.
4. THE CONTRACTOR IS TO ENSURE THAT NO DAMAGE OR DEBRIS OCCURS ON THE ADJACENT PROPERTIES.
5. THE CONTRACTOR SHALL SEED ALL DISTURBED AREAS WITH LOW MAINTENANCE NATIVE GRASS AND COVER WITH APPROVED STRAW.
6. UNTIL THE COMPOUND IS SURROUNDED BY A PERMANENT FENCE, THE CONTRACTOR MUST ERECT A TEMPORARY FENCE AROUND THE TOWER AND POST A "NO TRESPASSING" SIGN. ALL CLIMBING PEGS MUST BE REMOVED UP TO 20' UNTIL A PERMANENT FENCE IS INSTALLED.
7. THE CONTRACTOR MUST ENSURE THAT ALL DELIVERY TRUCKS WILL BE ABLE TO DELIVER THE MATERIAL TO THE COMPOUND. IF THE DELIVERY TRUCKS CAN NOT ACCESS THE COMPOUND THEN THE CONTRACTOR MUST MAKE OTHER ARRANGEMENTS TO GET THE MATERIAL TO THE COMPOUND. IF THIS IS REQUIRED THE CONTRACTOR MUST CONTACT KIMLEY-HORN AND ASSOCIATES IMMEDIATELY. NO ADDITIONAL FEES WILL BE PASSED ON TO THE CLIENT.
8. PROPOSED TOWER AND FOUNDATION TO BE INSTALLED IN ACCORDANCE WITH THE TOWER MANUFACTURER PLANS PROVIDED BY CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE UNLOADING OF TOWER MATERIALS DELIVERED TO SITE BY THE TOWER MANUFACTURER.
9. CONTRACTOR MUST REFER TO THE GEOTECH REPORT FOR ALL COMPACTED FILL RECOMMENDATIONS. IF THE GEOTECH REPORT CONFLICTS WITH THE CONSTRUCTION DRAWINGS THEN STOP WORK AND CONTACT THE CLIENT AS SOON AS POSSIBLE.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DOT AND/OR COUNTY SPECIFICATIONS PRIOR TO BID AND CONSTRUCTION. IF THE SPECIFICATIONS DIFFER FROM THE CONSTRUCTION DRAWINGS, THEN THE SPECIFICATIONS WILL GOVERN. NO ADDITIONAL COSTS FOR ADHERING TO THE SPECIFICATIONS WILL BE ALLOWED AFTER THE BID HAS BEEN ISSUED AND ACCEPTED NOR WILL PROJECT DELAYS BE TOLERATED.
11. AT THE TIME THE CONSTRUCTION DRAWINGS WERE COMPLETED, KIMLEY-HORN AND ASSOCIATES DID NOT POSSESS THE PROPOSED TOWER MANUFACTURER DRAWINGS. THE EXACT SIZE OF THE OVERALL TOWER FOOTPRINT IS UNKNOWN. THE CONTRACTOR MUST COMPARE THE CONSTRUCTION DRAWINGS WITH THE TOWER DRAWINGS PRIOR TO BID AND/OR CONSTRUCTION AND IF THEY FIND ANY DISCREPANCIES OR POSSIBLE ISSUES THEY MUST NOTIFY THE CLIENT IMMEDIATELY.

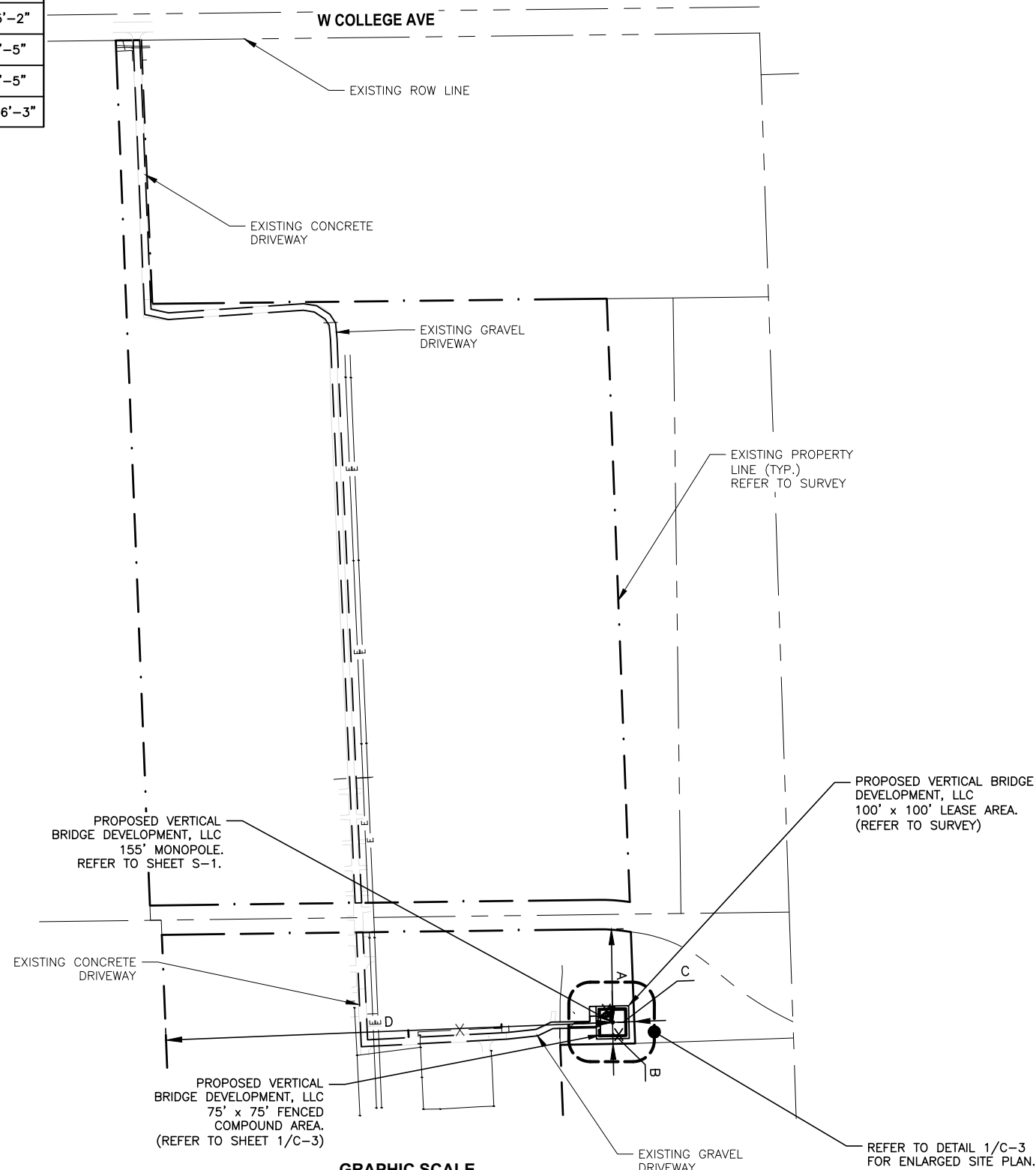
DEVELOPED AREA:

PROPOSED 100' x 100' LEASE AREA = ±10,000
PROPOSED 75' x 75' GRAVEL COMPOUND = ±5,625
PROPOSED ACCESS ROAD = ±1,543 S.F.
TOTAL IMPERVIOUS = ±7,168 S.F.

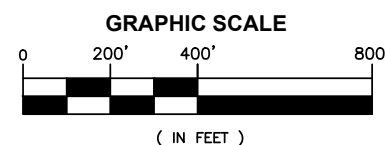
FLOOD ZONE INFORMATION:

FLOOD ZONE:	X
PANEL NUMBER:	17113C0481E
EFFECTIVE DATE:	07/16/2008
BASE FLOOD EL.	N/A

DIRECTION	REQUIRED SETBACK	TOWER SETBACK
(A) NORTH	5'	±285'-2"
(B) SOUTH	5'	±65'-5"
(C) EAST	5'	±66'-5"
(D) WEST	5'	±1,366'-3"



OVERALL SITE PLAN
SCALE: 1"=100'
SCALE BASED ON 11"x17" ONLY



verticalbridge

700 PARK OF COMMERCE DRIVE #200
BOCA RATON FL, 33487
TEL: (561) 948-6367

PLANS PREPARED BY:

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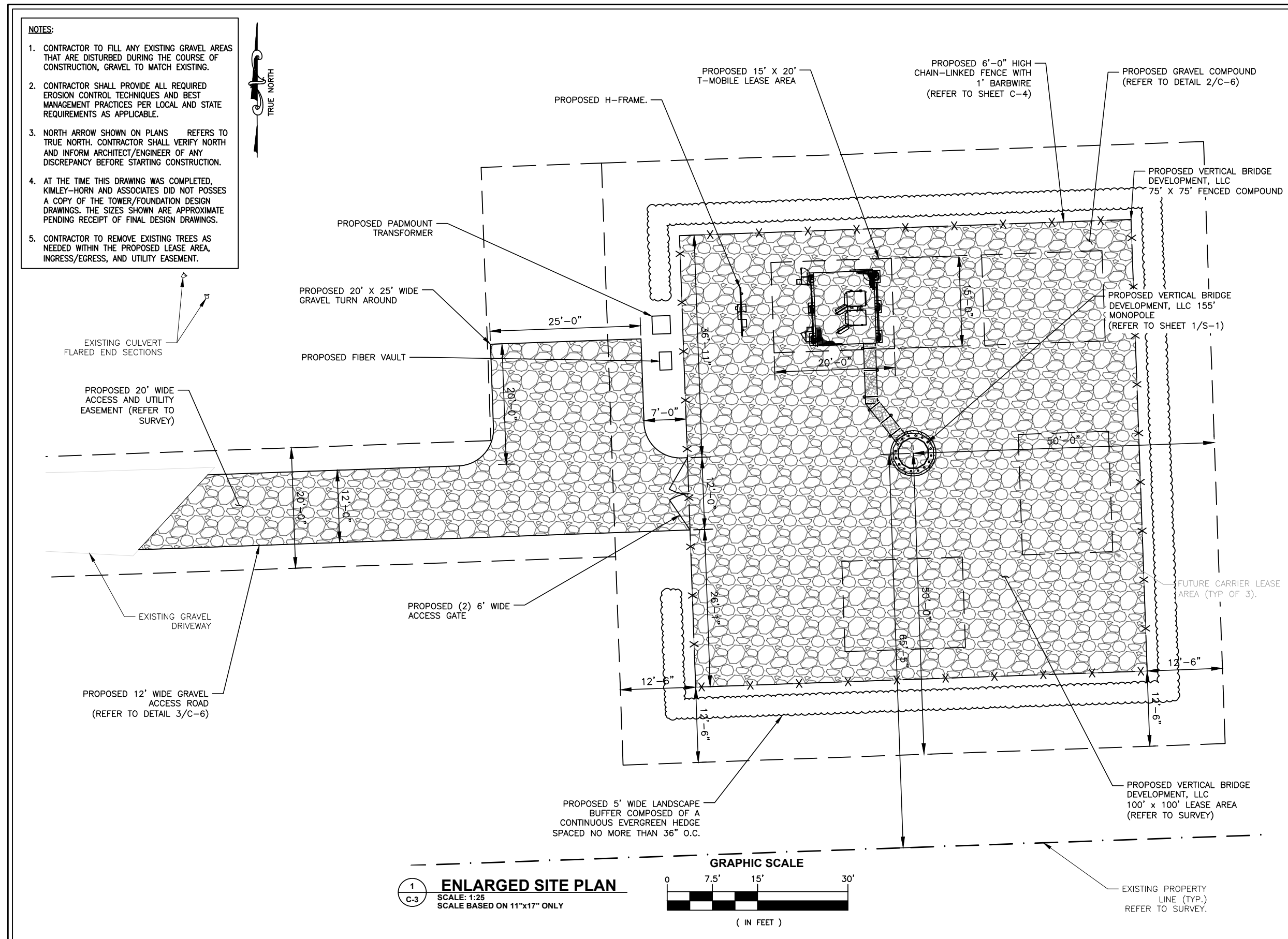
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OVERALL SITE PLAN

SHEET NUMBER: _____

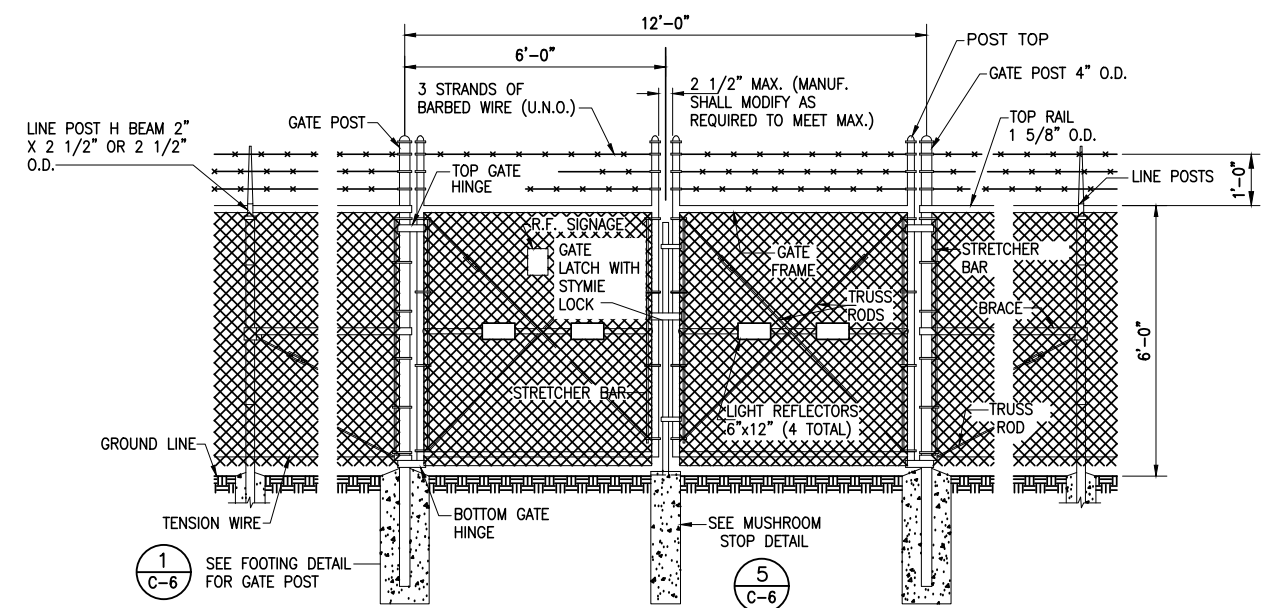
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Attachment 6 - Application and Site Plan

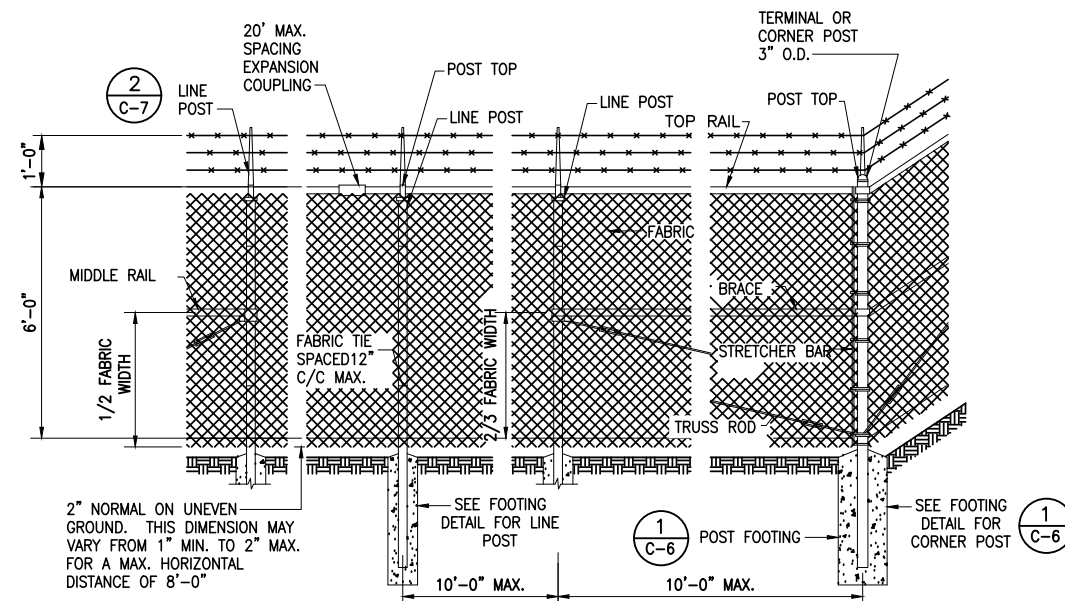


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DRAWN BY: _____		CHECKED BY: _____	
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ENLARGED SITE PLAN			
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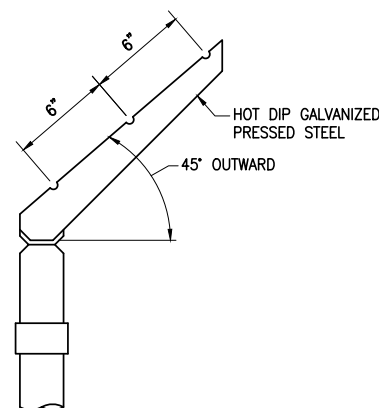
SECURITY FENCE NOTE:
NUTS ON ALL BOLTS SHALL BE TOWARD
THE INTERIOR OF THE COMPOUND



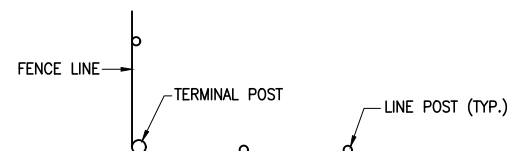
1 VEHICLE GATE ARRANGEMENT



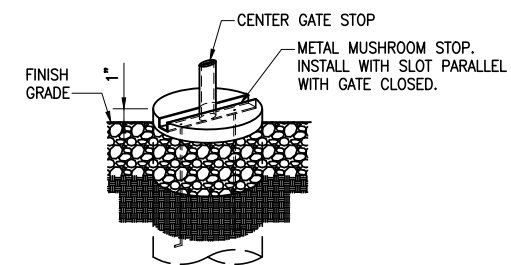
2 POST/CORNER POST ARRANGEMENT



3 BARBED WIRE ARM OF LINE POST



4 INSTALLATION AT CORNERS



5 MUSHROOM STOP DETAIL

verticalbridge

700 PARK OF COMMERCE DRIVE #200
BOCA RATON FL, 33487
TEL: (561) 948-6367

PLANS PREPARED BY:

Kimley»Horn

3875 EMBASSY PARKWAY, SUITE 280
AKRON, OH 44333
PHONE (216) 505-7775
WWW.KIMLEY-HORN.COM

REV: DATE: DESCRIPTION: BY:

0	09/10/25	ISSUED FOR ZONING	TAM
A	08/29/25	ISSUED FOR REVIEW	TAM

DRAWN BY:	CHECKED BY:
TAM	MTD

KHA PROJECT NUMBER:
KHCL-80385

ENGINEER SEAL:



09/10/2025
Exp: 11/30/2025

PROJECT INFORMATION:

US-IL-5871
BLOOMINGTON WEST

1106 INTERSTATE DR
BLOOMINGTON, IL 61705
MCLEAN COUNTY

SHEET TITLE:

FENCE DETAILS

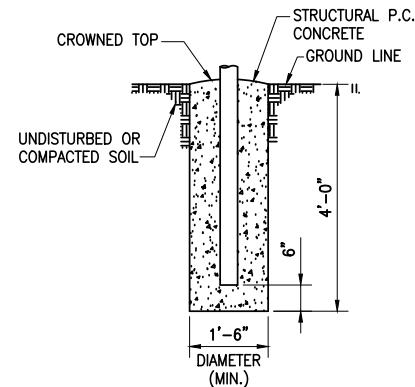
SHEET NUMBER:

C-4

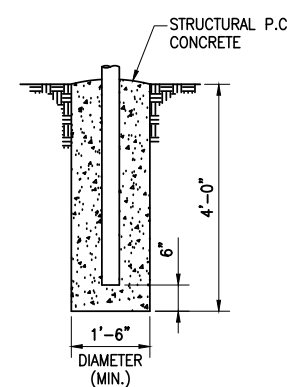
Attachment 6 - Application and Site Plan

NOTES:

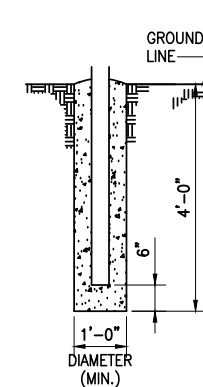
1. ZINC COATING - THE WEIGHT OF THE COATING SHALL NOT BE LESS THAN 1.2 OUNCES PER SQUARE FOOT OF ACTUAL SURFACE COVERED. ALL FERROUS METALS USED AS PART OF THE FENCE INSTALLATION SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL. ALL SCREWS, BOLTS, LOCK WASHERS, NUTS, ETC. SHALL BE HOT DIP GALVANIZED OR MADE OF STAINLESS STEEL.
2. FABRIC - STANDARD INDUSTRIAL GRADE #9 GAUGE WITH 2 INCH MESH ZINC COATED CHAIN LINK WITH A BREAKING STRENGTH OF NOT LESS THAN 1290 POUNDS SHALL BE USED. THE FABRIC SHALL BE ZINC COATED BY THE HOT DIP PROCESS AFTER FABRICATION.
3. METAL POSTS - METAL POSTS (LINE, CORNER, TERMINAL, GATE POSTS, MIDDLE RAILS, BRACES AND TOP RAIL) SHALL BE HOT DIP GALVANIZED SCHEDULE 40 TUBULAR STEEL WITH AN OUTSIDE DIAMETER AS INDICATED ON THIS DRAWING. A POST TOP FITTING OF GALVANIZED STEEL WILL BE INSTALLED TO EXCLUDE MOISTURE.
4. POST CAPS - ALL POST CAPS TO USE THE BARBED WIRE OUTRIGGER BRACKET AND SHALL BE ATTACHED TO THE POST WITH TAMPER RESISTANT SCREWS, BRADS, OR BOLTS.
5. TOP RAIL - A MINIMUM OF ONE COUPLING IN EACH STRAIGHT RUN OF TOP RAIL, SHALL HAVE A HEAVY SPRING INSERTED WITHIN THE COUPLING TO TAKE UP EXPANSION AND CONTRACTION OF THE TOP RAIL. THE TOP RAIL SHALL BE FASTENED TO TERMINAL POSTS WITH PRESSED STEEL CONNECTIONS.
6. MIDDLE RAIL - THE MIDDLE RAIL SHALL BE OF THE SAME MATERIAL AS THE TOP RAIL AND INSTALLED WITH HOT DIP GALVANIZED FITTINGS ATTACHED TO THE POSTS.
7. BRACE RAIL - BRACE RAIL MATERIAL SHALL BE OF THE MATERIAL AS THE TOP RAIL AND LOCATED 2/3 OF THE DISTANCE UP FROM THE BOTTOM OF THE FABRIC. BRACE RAILS SHALL BE SECURELY FASTENED TO POSTS BY SUITABLE PRESSED STEEL CONNECTIONS.
8. TRUSS RODS - SHALL BE 3/8" ROUND GALVANIZED STEEL RODS WITH GALVANIZED TURNBUCKLES. THE ZINC COATING SHALL BE NOT LESS THAN 1.2 OUNCES PER SQUARE FOOT OF SURFACE.
9. TENSION WIRE - THE TENSION WIRE SHALL BE OF #7 GAUGE HOT DIP GALVANIZED SPRING TENSION WIRE WITH A BREAKING STRENGTH OF NOT LESS THAN 1900 POUNDS. THIS WIRE SHALL BE KEPT TAUT WITH GALVANIZED TURNBUCKLES AND ATTACHED TO POSTS WITH GALVANIZED HARDWARE OR CABLE CLAMPS.
10. FABRIC TIES - THE FABRIC TIES SHALL BE ALUMINUM WIRE. NOT LESS THAN #9 GAGE.
11. STRETCHER BARS - THE STRETCHER BARS SHALL BE FLAT GALVANIZED STEEL BARS NOT LESS THAN 5/16" X 3/4" AND NOT LESS THAN 2" SHORTER THAN THE FABRIC. STRETCHER BAR BANDS SHALL BE FLAT GALVANIZED STEEL BARS NOT LESS THAN 5/16" X 1 1/2" WITH 5/16" DIAMETER GALVANIZED CARRIAGE BOLT.
12. BARBED WIRE - BARBED WIRE OF GALVANIZED STEEL (OR ALUMINUM) CONSISTING OF 12 1/2 GAUGE WIRE WITH 4-POINT BARBS OF 14 GAUGE WIRE SPACED 5 INCHES APART.
13. GATE FRAMES SHALL BE CONSTRUCTED OF 2 1/2 INCH OUTSIDE DIAMETER HEAVY DUTY GALVANIZED STEEL PIPE. THE GATES SHALL BE ASSEMBLED USING CORNER FITTINGS OF HEAVY PRESSED STEEL OR MALLEABLE CASTINGS OR MAY BE WELDED IF THE ENTIRE GATE FRAME IS HOT DIP GALVANIZED AFTER THE WELDING. ALL GATES SHALL BE EQUIPPED WITH HEAVY DUTY GALVANIZED STEEL TYPE HINGES WITH LARGE BEARING SURFACES OF ADEQUATE STRENGTH TO SUPPORT THE GATE. THE HINGES SHALL NOT TWIST OR TURN UNDER THE ACTION OF THE GATE. GATES WILL PROVIDE A FULL RANGE OF MOTION AND BE EASILY OPENED AND CLOSED BY ONE PERSON. GATE LATCH SHALL BE CARGO PROTECTORS, INC. MODEL FL-100. LATCH SHALL BE EQUIPPED TO RECEIVE A PADLOCK.
14. PROVIDE R.F. WARNING SIGNAGE ON ALL GATES.



FOOTING FOR TERMINAL
OR CORNER POST

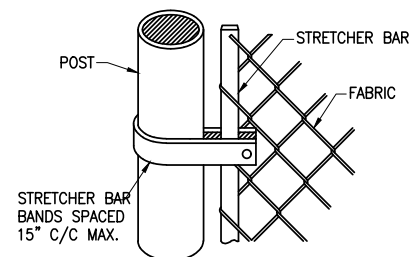


FOOTING FOR
GATE POST

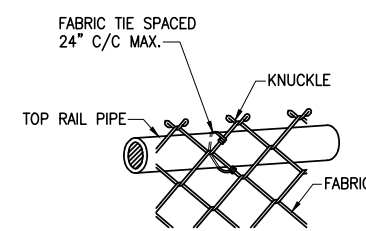


FOOTING FOR
LINE POST

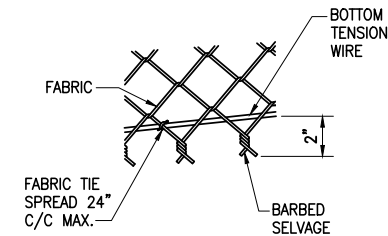
1 POST FOOTINGS



METHOD OF FASTENING STRETCHER BAR TO POST



METHOD OF TYING FABRIC TO PIPE



METHOD OF TYING FABRIC TO TENSION WIRE

2
C-5

verticalbridge

700 PARK OF COMMERCE DRIVE #200
BOCA RATON FL, 33487
TEL: (561) 948-6367

PLANS PREPARED BY:

Kimley»Horn

3875 EMBASSY PARKWAY, SUITE 280
AKRON, OH 44333
PHONE (216) 505-7775
WWW.KIMLEY-HORN.COM

REV: == DATE: == DESCRIPTION: == BY: ==

O	09/10/25	ISSUED FOR ZONING	TAM
A	08/29/25	ISSUED FOR REVIEW	TAM

DRAWN BY: _____ CHECKED BY: _____

TAM	MTD
-----	-----

KHA PROJECT NUMBER:

KHCLE-80385

ENGINEER SEAL: _____



09/10/2025
Exp: 11/30/2025

PROJECT INFORMATION: ==

UIC II 5074

US-IL-5871
BLOOMINGTON WEST

1106 INTERSTATE DR
BLOOMINGTON, IL 61705
MCLEAN COUNTY

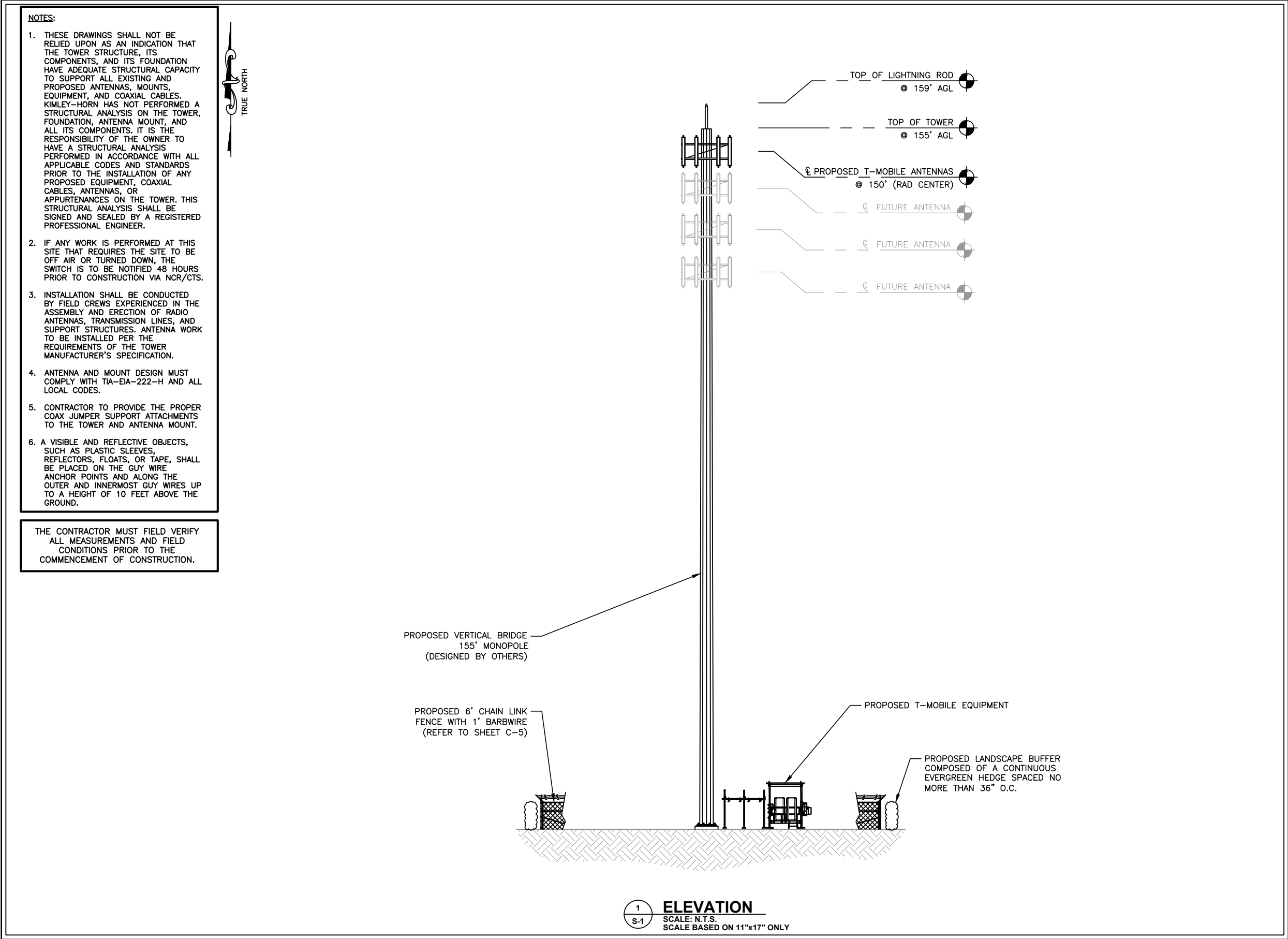
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FENCE DETAIL C

FENCE DETAILS

SHEET NUMBER: _____

C-5



700 PARK OF COMMERCE DRIVE #200
BOCA RATON FL, 33487
TEL: (561) 948-6367

PLANS PREPARED BY:

3875 EMBASSY PARKWAY, SUITE 280
AKRON, OH 44333
PHONE (216) 505-7775
WWW.KIMLEY-HORN.COM

REV:	DATE:	DESCRIPTION:	BY:
0	09/10/25	ISSUED FOR ZONING	TAM
A	08/29/25	ISSUED FOR REVIEW	TAM

DRAWN BY: TAM

CHECKED BY: MTD

KHA PROJECT NUMBER:

KHCL-80385

ENGINEER SEAL:

09/10/2025

Exp: 11/30/2025

PROJECT INFORMATION:

US-IL-5871
BLOOMINGTON WEST

1106 INTERSTATE DR
BLOOMINGTON, IL 61705
MCLEAN COUNTY

SHEET TITLE:

TOWER ELEVATION
AND DETAILS

SHEET NUMBER:

S-1

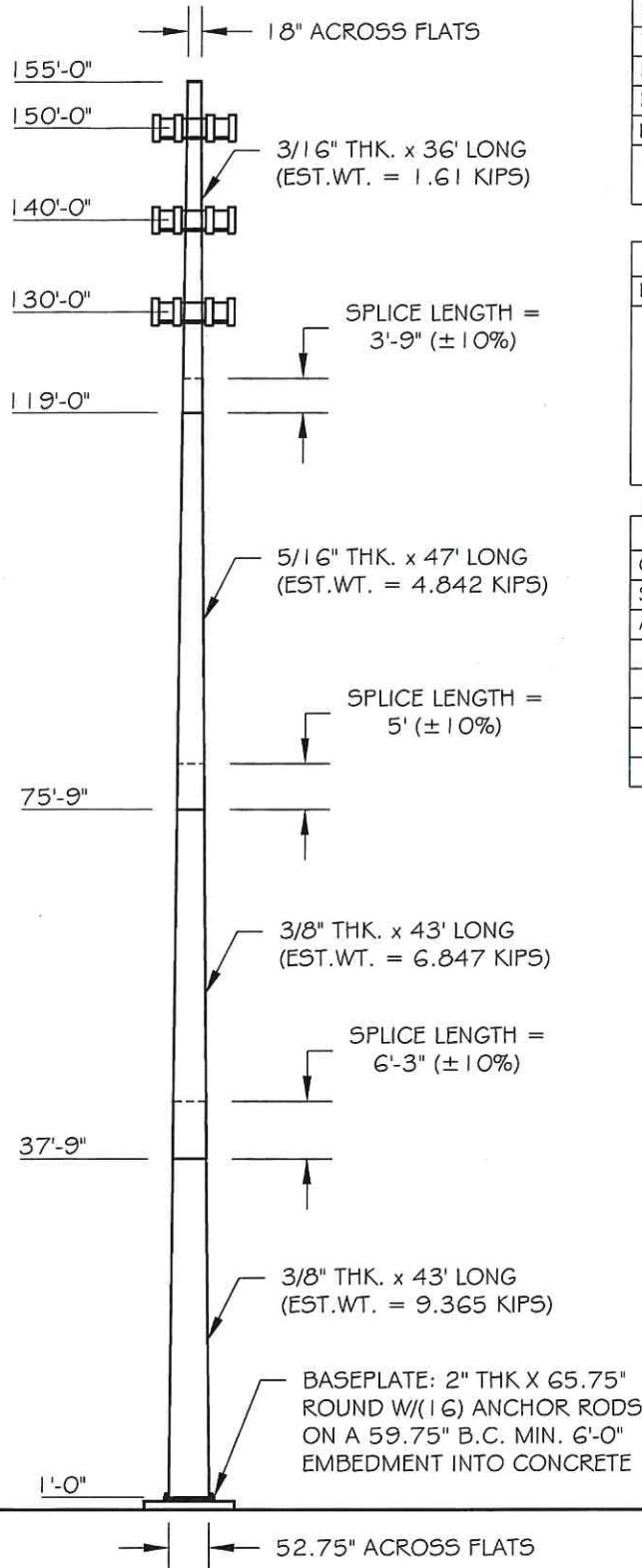


TAPP

2427 Kelly Lane
Houston, Texas 77066
281-444-8277

QUALITY STEEL POLES. DELIVERED.

EXHIBIT B



Page 1 of 1	Job Number: 23525-588
Eng: MFP	Customer Ref: TP-25025
	Date: 9/18/2025
Structure: 155-FT MONOPOLE	
Site: US-IL-5871 BLOOMINGTON WEST	
Location: MCLEAN CO., IL / 40°29'38.4", -89°2'33.2"	
Owner: VERTICAL BRIDGE	
Revision No.: Revision Date:	
DESIGN	
Building Code: 2024 INTERNATIONAL BUILDING CODE	
Design Standard: TIA-222-I	
Wind Speed Load Cases: ASCE-7-22 WIND SPEED	
Load Case #1: 108 MPH Design Wind Speed	
Load Case #2: 44 MPH Wind with 1.14" Ice Accumulation	
Load Case #3: 60 MPH Service Wind Speed	
Structure Class Risk Category II	Exposure Cat. C
Topography Cat. Kzt = 1.0	Crest Height

EQUIPMENT LIST	
Elev.	Description
150	ANTENNAS + MOUNTING (EPA 40,000 IN2)
150	GENERIC ANTENNA MOUNT
140	ANTENNAS + MOUNTING (EPA 30,000 IN2)
140	GENERIC ANTENNA MOUNT
130	ANTENNAS + MOUNTING (EPA 30,000 IN2)
130	GENERIC ANTENNA MOUNT

ANTENNA FEED LINES ROUTED ON THE INSIDE OF THE POLE

STRUCTURE PROPERTIES					
Cross-Section: 18-Sided			Taper: 0.23701 in/ft		
Shaft Steel: ASTM A572 GR 65			Baseplate Steel: ASTM A572 GR 55		
Anchor Rods: 2.25 in. A615 GR. 75 X 7'-0"					
Sect.	Length (ft)	Thickness (in)	Splice (ft)	Top Dia. (in)	Bot Dia. (in)
1	36.00	0.1875	3.75	18.00	26.53
2	47.00	0.3125	5.00	25.27	36.41
3	43.00	0.3750	6.25	34.60	44.79
4	43.00	0.3750	0	42.56	52.75



Digitally signed
by Christopher
P. Sekol
Date:
2025.09.18
20:21:56-04'00'

Exp. 11-30-2026

Reviewed by:
Christopher Sekol, S.E.

BASE REACTIONS FOR FOUNDATION DESIGN

Moment: 4360 ft-kip
Shear: 34 kip
Axial: 49 kip

inxTower Michael Plahovinsak, P.E. 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mike@mfpeng.com	Job	155-ft Monopole - MFP #23525-588	Page	1 of 6
	Project	US-IL-5871 Bloomington West	Date	13:49:59 09/18/25
	Client	TP-25025	Designed by	JC

Tower Input Data

The tower is a monopole.

This tower is designed using the TIA-222-I standard.

The following design criteria apply:

Tower base elevation above sea level: 814.00 ft.

Basic wind speed of 108 mph is used.

Risk Category II.

Exposure Category C.

Crest Height: 0.00 ft.

Nominal ice thickness of 1.1400 in.

Ice thickness is considered to increase with height.

Ice density of 56 pcf.

Wind speed of 44 mph is used in combination with ice.

Temperature drop of 50 °F.

Deflections calculated using a wind speed of 60 mph.

Fatigue analysis loads are not applied.

Non-linear (P-delta) analysis was used.

Pressures are calculated at each section.

Stress ratio used in pole design is 1.

Local bending stresses due to climbing loads, feed line supports, and appurtenance mounts are not considered.

Tapered Pole Section Geometry

Section	Elevation ft	Section Length ft	Splice Length ft	Number of Sides	Top Diameter in	Bottom Diameter in	Wall Thickness in	Bend Radius in	Pole Grade
L1	155.00-119.00	36.00	3.75	18	18.0000	26.5325	0.1875	0.7500	A572-65 (65 ksi)
L2	119.00-75.75	47.00	5.00	18	25.2687	36.4083	0.3125	1.2500	A572-65 (65 ksi)
L3	75.75-37.75	43.00	6.25	18	34.5982	44.7898	0.3750	1.5000	A572-65 (65 ksi)
L4	37.75-1.00	43.00		18	42.5584	52.7500	0.3750	1.5000	A572-65 (65 ksi)

Tapered Pole Properties

Section	Tip Dia. in	Area in ²	I in ⁴	r in	C in	I/C in ³	J in ⁴	It/Q in ²	w in	w/t
L1	18.2488	10.6007	424.9328	6.3234	9.1440	46.4712	850.4248	5.3013	2.8380	15.136
	26.9128	15.6785	1374.7973	9.3525	13.4785	101.9993	2751.4036	7.8408	4.3397	23.145
L2	26.5128	24.7534	1947.7273	8.8594	12.8365	151.7337	3898.0174	12.3791	3.8973	12.471
	36.9217	35.8025	5893.3692	12.8140	18.4954	318.6396	11794.4931	17.9047	5.8579	18.745
L3	36.2774	40.7342	6027.5111	12.1492	17.5759	342.9420	12062.9534	20.3710	5.4293	14.478
	45.4229	52.8647	13175.2232	15.7672	22.7532	579.0491	26367.7827	26.4374	7.2230	19.261
L4	44.6613	50.2088	11287.6018	14.9751	21.6197	522.0983	22590.0562	25.1092	6.8303	18.214
	53.5059	62.3393	21604.6755	18.5931	26.7970	806.2349	43237.7791	31.1756	8.6240	22.997

inxTower Michael Plahovinsak, P.E. 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mike@mfpeng.com	Job	155-ft Monopole - MFP #23525-588	Page	2 of 6
	Project	US-IL-5871 Bloomington West	Date	13:49:59 09/18/25
	Client	TP-25025	Designed by	JC

Tower Elevation	Gusset Area (per face)	Gusset Thickness	Gusset Grade	Adjust. Factor A_f	Adjust. Factor A_r	Weight Mult.	Double Angle Stitch Bolt Spacing Diagonals	Double Angle Stitch Bolt Spacing Horizontals	Double Angle Stitch Bolt Spacing Redundants
ft	ft ²	in					in	in	in
L1 155.00-119.00				1	1	1			
L2 119.00-75.75				1	1	1			
L3 75.75-37.75				1	1	1			
L4 37.75-1.00				1	1	1			

Feed Line/Linear Appurtenances - Entered As Area

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Total Number		$C_A A_A$ ft ² /ft	Weight plf
Safety Climb & Step Bolts Exposed	C	No	Yes	CaAa (Out Of Face)	155.00 - 1.00	1	No Ice 1/2" Ice 1" Ice 2" Ice	0.06 0.14 0.24 0.44	0.09 0.63 1.77 5.90
** 1 5/8"	C	No	Yes	Inside Pole	150.00 - 1.00	18	No Ice 1/2" Ice 1" Ice 2" Ice	0.00 0.00 0.00 0.00	0.92 0.92 0.92 0.92
1 5/8"	C	No	Yes	Inside Pole	140.00 - 1.00	18	No Ice 1/2" Ice 1" Ice 2" Ice	0.00 0.00 0.00 0.00	0.92 0.92 0.92 0.92
1 5/8"	C	No	Yes	Inside Pole	130.00 - 1.00	18	No Ice 1/2" Ice 1" Ice 2" Ice	0.00 0.00 0.00 0.00	0.92 0.92 0.92 0.92

Feed Line/Linear Appurtenances Section Areas

Tower Section	Tower Elevation ft	Face	A_R ft ²	A_F ft ²	$C_A A_A$ In Face ft ²	$C_A A_A$ Out Face ft ²	Weight K
L1	155.00-119.00	A	0.000	0.000	0.000	0.000	0.00
		B	0.000	0.000	0.000	0.000	0.00
		C	0.000	0.000	0.000	1.980	1.04
L2	119.00-75.75	A	0.000	0.000	0.000	0.000	0.00
		B	0.000	0.000	0.000	0.000	0.00
		C	0.000	0.000	0.000	2.379	2.15
L3	75.75-37.75	A	0.000	0.000	0.000	0.000	0.00
		B	0.000	0.000	0.000	0.000	0.00
		C	0.000	0.000	0.000	2.090	1.89
L4	37.75-1.00	A	0.000	0.000	0.000	0.000	0.00
		B	0.000	0.000	0.000	0.000	0.00
		C	0.000	0.000	0.000	2.021	1.82

inxTower Michael Plahovinsak, P.E. 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mike@mjpeng.com	Job	155-ft Monopole - MFP #23525-588	Page	3 of 6
	Project	US-IL-5871 Bloomington West	Date	13:49:59 09/18/25
	Client	TP-25025	Designed by	JC

Feed Line/Linear Appurtenances Section Areas - With Ice

Tower Section	Tower Elevation ft	Face or Leg	Ice Thickness in	A_R ft ²	A_F ft ²	C_{AA} In Face ft ²	C_{AA} Out Face ft ²	Weight K
L1	155.00-119.00	A	1.313	0.000	0.000	0.000	0.000	0.00
		B		0.000	0.000	0.000	0.000	0.00
		C		0.000	0.000	0.000	10.807	1.15
L2	119.00-75.75	A	1.269	0.000	0.000	0.000	0.000	0.00
		B		0.000	0.000	0.000	0.000	0.00
		C		0.000	0.000	0.000	12.983	2.27
L3	75.75-37.75	A	1.203	0.000	0.000	0.000	0.000	0.00
		B		0.000	0.000	0.000	0.000	0.00
		C		0.000	0.000	0.000	11.070	1.99
L4	37.75-1.00	A	1.081	0.000	0.000	0.000	0.000	0.00
		B		0.000	0.000	0.000	0.000	0.00
		C		0.000	0.000	0.000	10.218	1.92

Discrete Tower Loads

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustment °	Placement ft	C_{AA} Front ft ²	C_{AA} Side ft ²	Weight K
Antennas + Mount (EPA 40,000 in2)	C	None		0.0000	150.00	No Ice	278.00	4.00
						1/2" Ice	288.00	5.00
						1" Ice	298.00	6.00
						2" Ice	318.00	8.00
						No Ice	209.00	4.00
Antennas + Mount (EPA 30,000 in2)	C	None		0.0000	140.00	1/2" Ice	219.00	5.00
						1" Ice	229.00	6.00
						2" Ice	249.00	8.00
						No Ice	209.00	4.00
						1/2" Ice	219.00	5.00
Antennas + Mount (EPA 30,000 in2)	C	None		0.0000	130.00	1" Ice	229.00	6.00
						2" Ice	249.00	8.00
						No Ice	209.00	4.00
						1/2" Ice	219.00	5.00
						1" Ice	229.00	6.00

Load Combinations

Comb. No.	Description
1	Dead Only
2	1.2 Dead+1.0 Wind 0 deg - No Ice
3	0.9 Dead+1.0 Wind 0 deg - No Ice
4	1.2 Dead+1.0 Wind 90 deg - No Ice
5	0.9 Dead+1.0 Wind 90 deg - No Ice
6	1.2 Dead+1.0 Wind 180 deg - No Ice
7	0.9 Dead+1.0 Wind 180 deg - No Ice
8	1.2 Dead+1.0 Ice+1.0 Temp
9	1.2 Dead+1.0 Wind 0 deg+1.0 Ice+1.0 Temp
10	1.2 Dead+1.0 Wind 90 deg+1.0 Ice+1.0 Temp
11	1.2 Dead+1.0 Wind 180 deg+1.0 Ice+1.0 Temp
12	Dead+Wind 0 deg - Service
13	Dead+Wind 90 deg - Service
14	Dead+Wind 180 deg - Service

tnxTower Michael Plahovinsak, P.E. 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mike@mfpeng.com	Job	155-ft Monopole - MFP #23525-588	Page	4 of 6
	Project	US-IL-5871 Bloomington West	Date	13:49:59 09/18/25
	Client	TP-25025	Designed by	JC

Maximum Member Forces

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
L1	155 - 119	Pole	Max Tension	4	0.00	0.00	0.00
			Max. Compression	8	-26.45	0.00	0.00
			Max. Mx	4	-13.27	-492.43	0.00
			Max. My	2	-13.27	0.00	492.43
			Max. Vy	4	27.14	-492.43	0.00
			Max. Vx	2	-27.14	0.00	492.43
L2	119 - 75.75	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	8	-36.59	0.00	0.00
			Max. Mx	4	-22.41	-1684.90	0.00
			Max. My	2	-22.41	0.00	1684.90
			Max. Vy	4	29.59	-1684.90	0.00
			Max. Vx	2	-29.59	0.00	1684.90
L3	75.75 - 37.75	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	8	-49.01	0.00	0.00
			Max. Mx	4	-33.38	-2812.77	0.00
			Max. My	2	-33.38	0.00	2812.77
			Max. Vy	4	31.69	-2812.77	0.00
			Max. Vx	2	-31.69	0.00	2812.77
L4	37.75 - 1	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	8	-66.11	0.00	0.00
			Max. Mx	4	-48.48	-4216.41	0.00
			Max. My	2	-48.48	0.00	4216.41
			Max. Vy	4	33.36	-4216.41	0.00
			Max. Vx	2	-33.36	0.00	4216.41

Maximum Tower Deflections - Service Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
L1	155 - 119	45.785	13	2.7965	0.0000
L2	122.75 - 75.75	27.769	13	2.3533	0.0000
L3	80.75 - 37.75	11.147	13	1.3711	0.0000
L4	44 - 1	3.164	13	0.6801	0.0000

Critical Deflections and Radius of Curvature - Service Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
150.00	Antennas + Mount (EPA 40,000 in2)	13	42.851	2.7402	0.0000	14519
140.00	Antennas + Mount (EPA 30,000 in2)	13	37.067	2.6202	0.0000	4839
130.00	Antennas + Mount (EPA 30,000 in2)	13	31.532	2.4783	0.0000	2902

inxTower Michael Plahovinsak, P.E. 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mike@mfpeng.com	Job	155-ft Monopole - MFP #23525-588	Page	5 of 6
	Project	US-IL-5871 Bloomington West	Date	13:49:59 09/18/25
	Client	TP-25025	Designed by	JC

Maximum Tower Deflections - Design Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
L1	155 - 119	166.567	2	10.1959	0.0000
L2	122.75 - 75.75	101.166	2	8.5848	0.0000
L3	80.75 - 37.75	40.656	2	5.0044	0.0000
L4	44 - 1	11.543	2	2.4820	0.0000

Critical Deflections and Radius of Curvature - Design Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
150.00	Antennas + Mount (EPA 40,000 in2)	2	155.922	9.9913	0.0000	4211
140.00	Antennas + Mount (EPA 30,000 in2)	2	134.931	9.5555	0.0000	1400
130.00	Antennas + Mount (EPA 30,000 in2)	2	114.836	9.0394	0.0000	836

Pole Design Data

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _n K	φP _n K	Ratio P _u φP _n
L1	155 - 119 (1)	TP26.5325x18x0.1875	36.00	0.00	0.0	15.1496	-13.27	886.25	0.015
L2	119 - 75.75 (2)	TP36.4083x25.2687x0.3125	47.00	0.00	0.0	34.6271	-22.41	2025.68	0.011
L3	75.75 - 37.75 (3)	TP44.7898x34.5982x0.375	43.00	0.00	0.0	51.1015	-33.38	2989.44	0.011
L4	37.75 - 1 (4)	TP52.75x42.5584x0.375	43.00	0.00	0.0	62.3393	-48.48	3646.85	0.013

Pole Bending Design Data

Section No.	Elevation ft	Size	M _{ux} kip-ft	φM _{ux} kip-ft	Ratio M _{ux} φM _{ux}	M _{uy} kip-ft	φM _{uy} kip-ft	Ratio M _{uy} φM _{uy}
L1	155 - 119 (1)	TP26.5325x18x0.1875	492.43	529.30	0.930	0.00	529.30	0.000
L2	119 - 75.75 (2)	TP36.4083x25.2687x0.3125	1684.90	1767.79	0.953	0.00	1767.79	0.000
L3	75.75 - 37.75 (3)	TP44.7898x34.5982x0.375	2812.77	3185.78	0.883	0.00	3185.78	0.000
L4	37.75 - 1 (4)	TP52.75x42.5584x0.375	4216.41	4433.29	0.951	0.00	4433.29	0.000

Pole Shear Design Data

Section No.	Elevation ft	Size	Actual V _u K	φV _u K	Ratio V _u φV _u	Actual T _n kip-ft	φT _n kip-ft	Ratio T _n φT _n
L1	155 - 119 (1)	TP26.5325x18x0.1875	27.14	265.88	0.102	0.00	592.72	0.000
L2	119 - 75.75 (2)	TP36.4083x25.2687x0.3125	29.59	607.71	0.049	0.00	1857.94	0.000
L3	75.75 - 37.75 (3)	TP44.7898x34.5982x0.375	31.69	896.83	0.035	0.00	3371.99	0.000
L4	37.75 - 1 (4)	TP52.75x42.5584x0.375	33.36	1094.06	0.030	0.00	5018.15	0.000

tnxTower Michael Plahovinsak, P.E. 18301 State Route 161 Plain City, OH 43064 Phone: 614-398-6250 FAX: mike@mpeng.com	Job	155-ft Monopole - MFP #23525-588	Page	6 of 6
	Project	US-IL-5871 Bloomington West	Date	13:49:59 09/18/25
	Client	TP-25025	Designed by	JC

Pole Interaction Design Data

Section No.	Elevation ft	Ratio P_u	Ratio M_{ux}	Ratio M_{uy}	Ratio V_u	Ratio T_u	Comb. Stress Ratio	Allow. Stress Ratio	Criteria
L1	155 - 119 (1)	0.015	0.930	0.000	0.102	0.000	0.956	1.000	✓
L2	119 - 75.75 (2)	0.011	0.953	0.000	0.049	0.000	0.967	1.000	✓
L3	75.75 - 37.75 (3)	0.011	0.883	0.000	0.035	0.000	0.895	1.000	✓
L4	37.75 - 1 (4)	0.013	0.951	0.000	0.030	0.000	0.965	1.000	✓

Section Capacity Table

Section No.	Elevation ft	Component Type	Size	Critical Element	P K	ϕP_{allow} K	% Capacity	Pass Fail
L1	155 - 119	Pole	TP26.5325x18x0.1875	1	-13.27	886.25	95.6	Pass
L2	119 - 75.75	Pole	TP36.4083x25.2687x0.3125	2	-22.41	2025.68	96.7	Pass
L3	75.75 - 37.75	Pole	TP44.7898x34.5982x0.375	3	-33.38	2989.44	89.5	Pass
L4	37.75 - 1	Pole	TP52.75x42.5584x0.375	4	-48.48	3646.85	96.5	Pass
							Summary	
							Pole (L2)	96.7
							RATING =	96.7
								Pass

Michael F. Plahovinsak, P.E. 18301 State Route 161 W Plain City, OH 43064 Phone: 614-398-6250 email: mike@mfpeng.com	Job	155-ft monopole - MFP #23525-588	Page	BP & AB Calc
	Project	US-IL-5871 Bloomington West	Date	9/18/2025
	Client	TAPP TP-25025	Designed by	Mike

Anchor Rod and Base Plate Calculation

TIA-222-I

Factored Base Reactions:	Pole Shape:	Anchor Rods:	Base Plate:
Moment: 4216 ft-kips	18-Sided	(16) 2.25 in. A615 GR. 75	2 in. x 65.75 in. Round
Shear: 33 kips	Pole Dia. (D_f):	Anchor Rods Evenly Spaced	$f_y = 55$ ksi
Axial: 49 kips	52.75 in	On a 59.75 in Bolt Circle	

Anchor Rod Calculation According to TIA-222-I

$$\begin{aligned}
\phi_t, \phi_v &= 0.75 \text{ TIA 4.9.6} \\
I_{bolts} &= 7140.13 \text{ in}^2 \text{ Moment of Inertia} \\
P_u &= 209 \text{ kips Tension Force} \\
V_u &= 2.1 \text{ kips Shear Force} \\
R_{nt} &= 325.00 \text{ kips Nominal Tensile Strength} \\
R_{nv} &= 198.80 \text{ kips } (0.5 \times f_u \times a_g) \\
\text{Stress Rating} &= 85.6\%
\end{aligned}$$

Base Plate Calculation According to TIA-222-I

$$\begin{aligned}
\phi &= 0.90 \text{ TIA 4.7} \\
M_{PL} &= 457.2 \text{ in-kip Plate Moment} \\
L &= 10.4 \text{ in Section Length} \\
Z &= 10.4 \text{ Plastic Section Modulus} \\
M_P &= 569.7 \text{ in-kip Plastic Moment} \\
\phi M_n &= 512.7 \text{ in-kip Factored Resistance}
\end{aligned}$$

Calculated Moment vs Factored Resistance

$$457.15 \text{ in-kip} \leq 513 \text{ in-kip}$$

Stress Rating = 89.2%

Anchor Rods Are Adequate	85.6%	☒
Base Plate is Adequate	89.2%	☒

EXHIBIT C



Certification of Compliance

Site Address: 1106 Interstate Drive, Bloomington, IL

Date: 09/24/2025

As a Radio Frequency Engineer at T-Mobile, I attest to the following regarding the proposed wireless communications system application in Bloomington, IL, Site Number: CH99500:

1. All T-Mobile base station radios meet or exceed applicable Federal Communications Commission's (FCC) regulations/requirements.

2.

The Facility will:

- a. Be operated at frequencies and power levels authorized by the FCC,
- b. Comply with all current FCC guidelines, including OET Bulletin 65 for cumulative measurements of radio frequency power densities and electromagnetic fields, and
- c. Comply at all times with current FCC regulations concerning interference with reception of television and radio broadcasts or any public safety frequencies servicing the city and its residents.

Signature: *Akash Patel*

Name: Akash Patel

Title: RF Engineer

Date: 09/24/2025

Attachment 6 - Application and Site Plan

Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2024-AGL-16470-OE
Prior Study No.
2024-AGL-15021-OE

Issued Date: 12/23/2024

Matthew Bonfante
VB BTS III, LLC
750 Park of Commerce Drive
Suite 200
Boca Raton, FL 33487

EXHIBIT D

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Antenna Tower US-IL-5871 - Bloomington West
Location:	Bloomington, IL
Latitude:	40-29-38.40N NAD 83
Longitude:	89-02-33.20W
Heights:	813 feet site elevation (SE) 165 feet above ground level (AGL) 978 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M Change 1.

This determination expires on 06/23/2026 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO

Attachment 6 - Application and Site Plan

SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (816) 329-2525, or natalie.schmalbeck@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-AGL-16470-OE.

Signature Control No: 640640674-642614669

(DNE)

Natalie Schmalbeck
Technician

Attachment(s)
Frequency Data
Map(s)

cc: FCC

Attachment 6 - Application and Site Plan

Frequency Data for ASN 2024-AGL-16470-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W

Attachment 6 - Application and Site Plan

Verified Map for ASN 2024-AGL-16470-OE

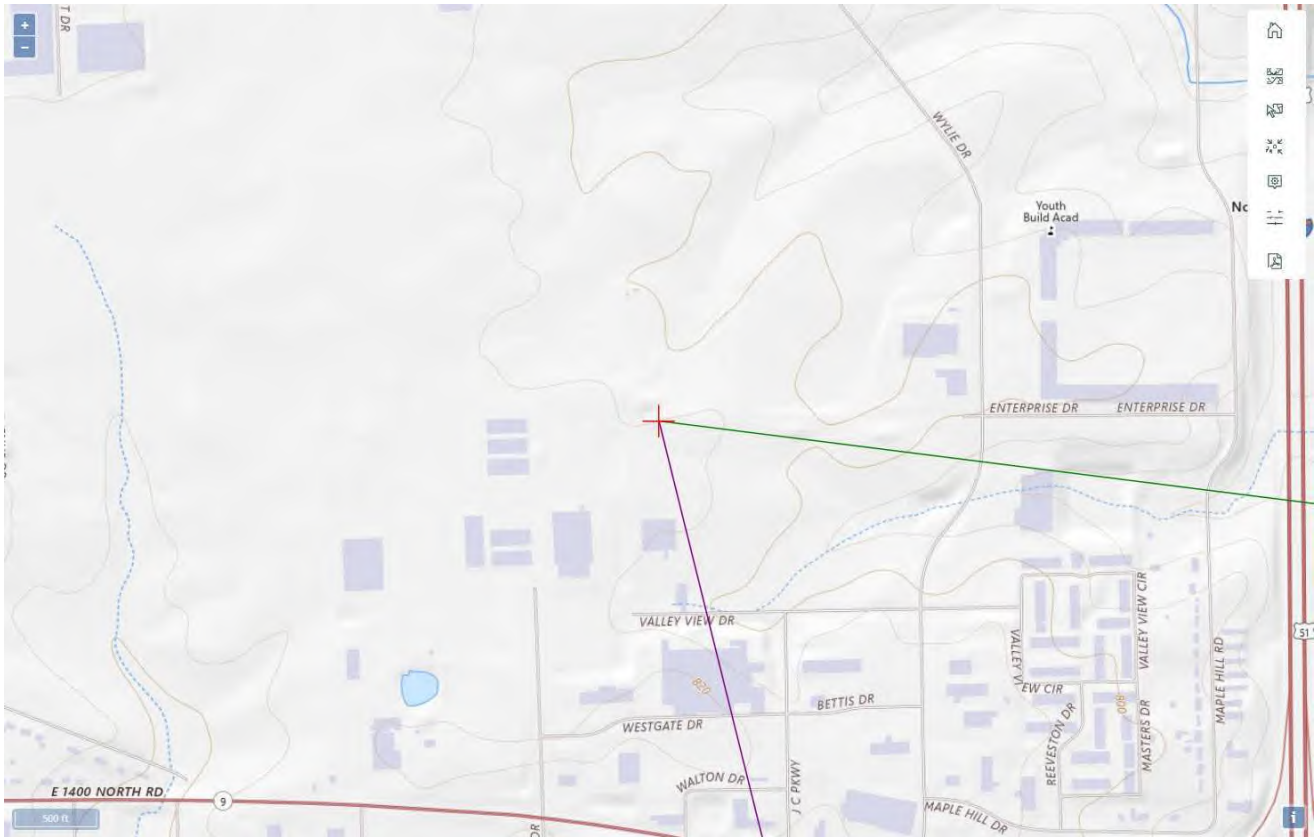


EXHIBIT E

**T-Mobile Central LLC
PROPOSED WIRELESS TELECOMMUNICATIONS FACILITY
1106 Interstate Drive, Bloomington, IL**

I, Akash Patel, representing T-Mobile Central LLC, d/b/a T-Mobile, a Delaware limited liability company (hereinafter "T-Mobile"), whose address is 1400 Opus Place, 7th Floor, Downers Grove, Illinois, state the following:

1. I am the Radio Frequency Engineer engaged in the development and deployment of T-Mobile's Illinois area network and involved in network design and optimization, including evaluation and selection of candidates for wireless telecommunications base station sites in the network.
2. In an effort to provide seamless Outdoor & Indoor coverage in the area around the Bloomington Interstate Center, this new site will help provide better signal strength and capacity during major events such as Tailgate and Tallboys. This new site will also provide better signal strength and capacity at the numerous businesses in the area such as Walmart, Tractor Supply, Marcus Cinema, and Hotels, along with improved coverage at the Traditions Apartment complex. Adding this new site in the area would help to maintain seamless service and high data capacity demand in the area especially during high traffic events.
3. There are no existing tower structures or feasible building structures with a suitable height of 150' within the desired area of coverage need.
4. My evaluation, conducted in the normal course of T-Mobile's operations, consisted of predicting signal propagation via industry-standard software models. T-Mobile calculated the proposed site's contribution to T-Mobile's needs for coverage and capacity in the area intended to be served by the site within reference to surrounding proposed sites.

Akash Patel

Date – 09/23/2025

COVERAGE OBJECTIVE & ENGINEERING JUSTIFICATION

T-Mobile Site ID: CH99500C
1106 Interstate Drive
Bloomington, IL

9/23/2025

 T-Mobile

T-Mobile Confidential

1

Candidate Location



T-Mobile

T-Mobile Confidential

2

Coverage justification

OVERVIEW

In coordination with T-Mobile, Vertical Bridge is proposing to build a new structure for a T-Mobile facility at 1106 Interstate Drive, Bloomington, IL. T-Mobile is proposing to collocate its equipment on the new structure with an antenna centerline height of 150'. To meet the coverage objective, this is the minimum height necessary to provide adequate service to this area as demonstrated in this document.

This proposed facility will meet T-Mobile's coverage objectives by providing in-building and outdoor mid-band wireless coverage in the area around Bloomington Interstate Center. In an effort to provide seamless Outdoor & Indoor coverage in the area around the Bloomington Interstate Center, this new site will help provide better signal strength and capacity during major events such as Tailgate and Tallboys. The public safety personnel in attendance during major events at Bloomington Interstate Center rely on T-Mobile Service to communicate with each other. This new site will also provide better signal strength and capacity at the numerous businesses in the area such as Walmart, Tractor Supply, Marcus Cinema, and Hotels, along with improved coverage at the Traditions Apartment complex. Adding this new site in the area would help to maintain seamless service and high data capacity demand in the area especially during high traffic events.

This coverage objective was determined through a combined analysis of customer complaints, service requests, and radio frequency engineering design. This facility will allow T-Mobile to provide more reliable wireless service with fewer dropped calls, improved call quality, and improved access to additional wireless services that the public now demands. This includes emergency 911 calls throughout the area.

The plots on the following slides show improved signal strength in the areas around the NSD which have numerous businesses and residential areas. They also show improved capacity, mainly in the area of the Bloomington Interstate Center by increasing the # of sectors by 6, which will drastically improve capacity for events like Tailgate and Tallboys. The surrounding businesses and residential areas will also see an increase in capacity, improving data speeds significantly.

3

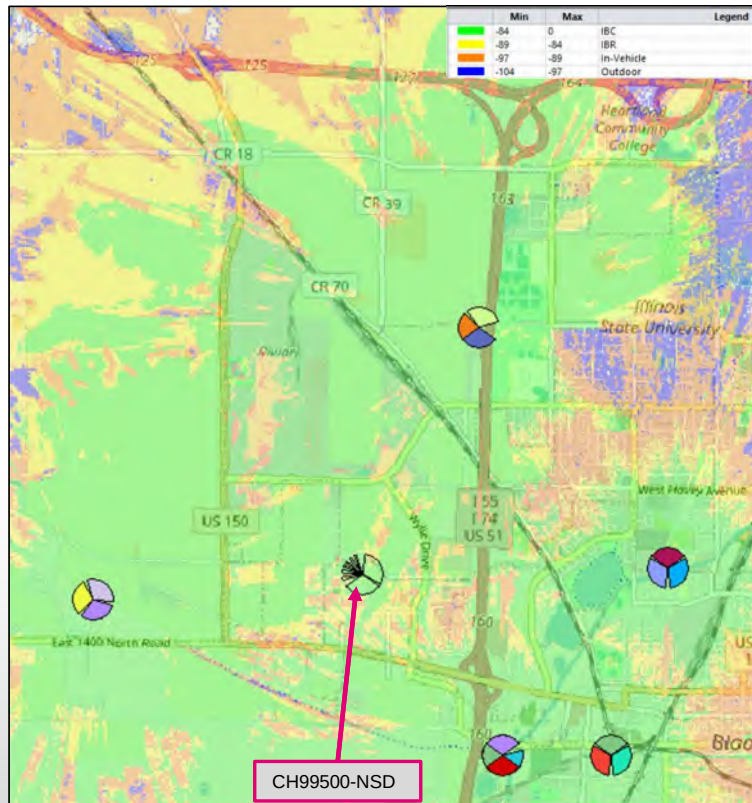
 T-Mobile

T-Mobile Confidential

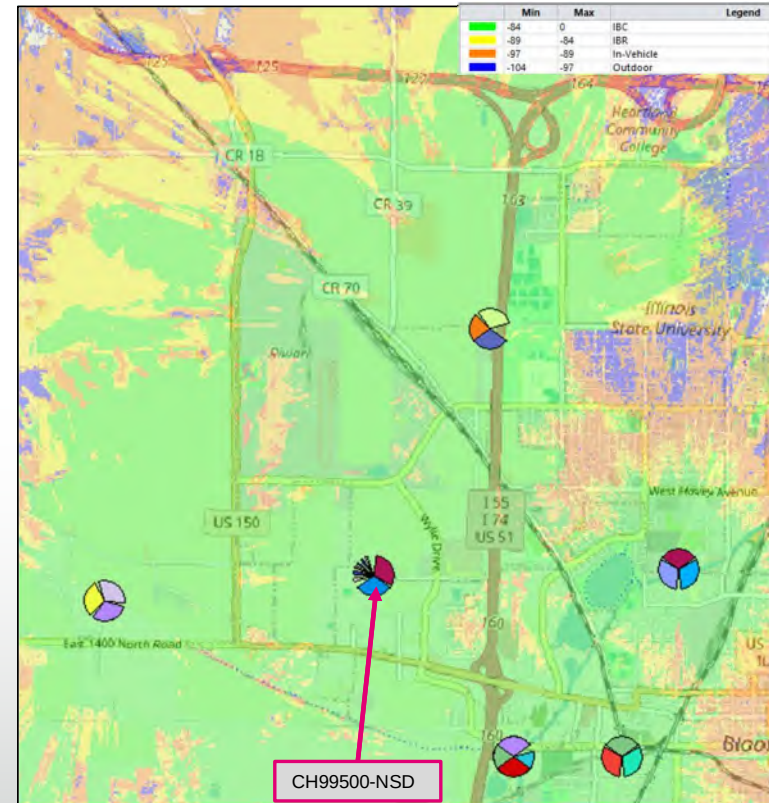
3

Signal Strength Plots

Without NSD CH99500C



With NSD CH99500C



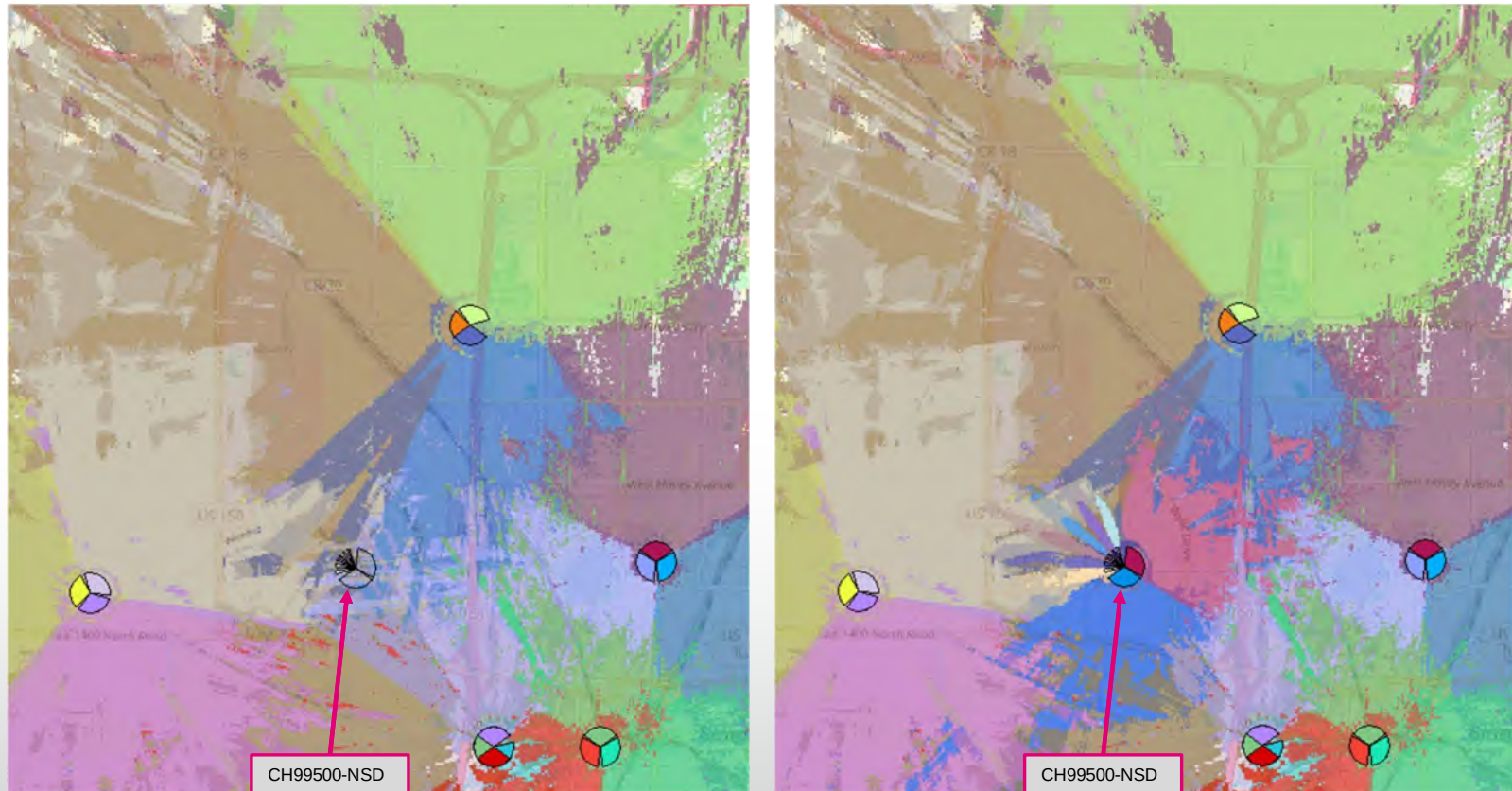
Plots show improved signal strength in the areas around the NSD which have numerous businesses and residential areas.

T-Mobile

T-Mobile Confidential

4

Best Server Plots



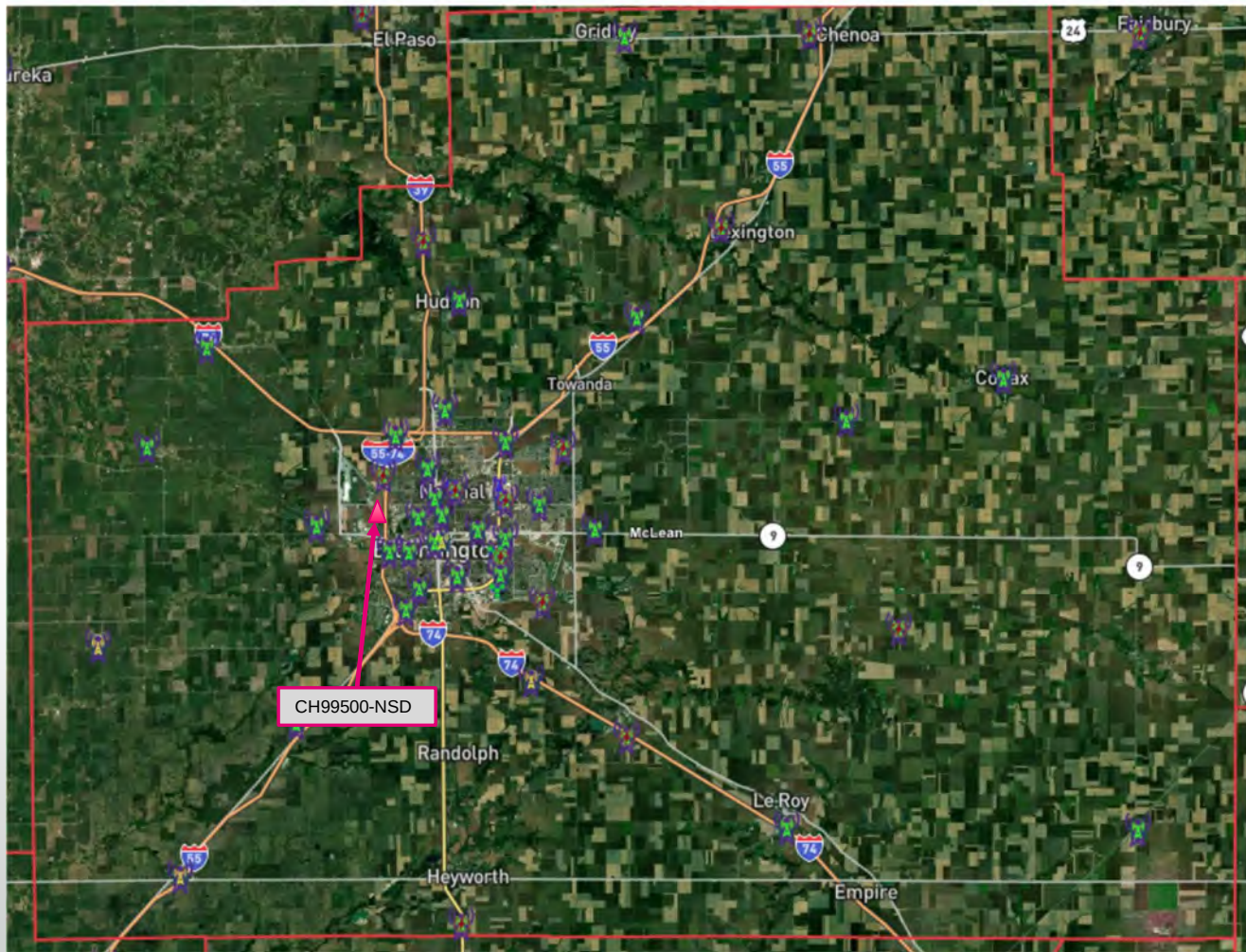
Plots show improved capacity mainly in the area of the Bloomington Interstate Center by increasing the # of sectors by 6 which will drastically improve capacity for events like Tailgate and Tallboys. The surrounding businesses and residential areas will see an increase in capacity also, improving data speeds significantly.

T-Mobile

T-Mobile Confidential

5

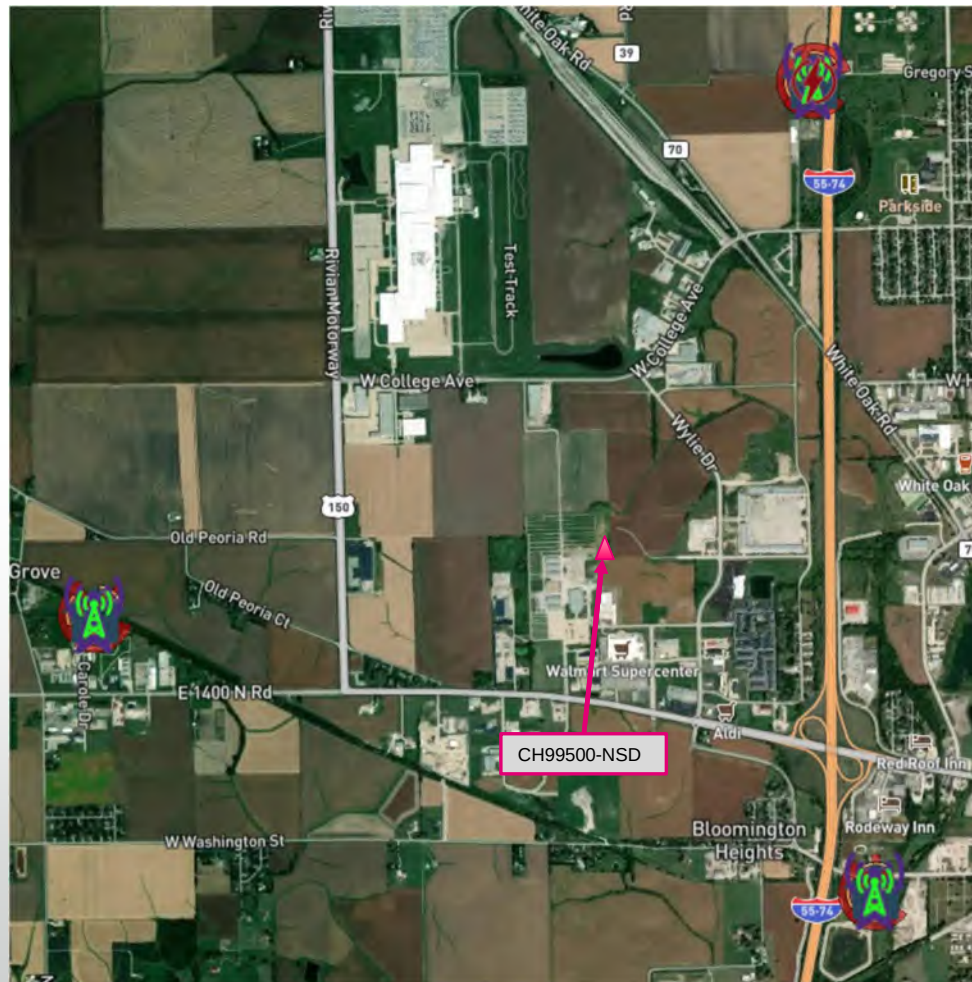
T-Mobile Sites in McLean County



T-Mobile Confidential

6

T-Mobile Sites around NSD



T-Mobile

T-Mobile Confidential

7

Attachment 6 - Application and Site Plan

Docusign Envelope ID: E531F475-CF29-463F-9533-CBAF00EC26BE



Vertical Bridge Development, LLC

750 Park of Commerce Drive, Suite 200

Boca Raton, FL 33487

+1 (561) 948 - 6367

VerticalBridge.com

EXHIBIT F

MAINTENANCE

Bloomington, IL (US-IL-5871)

RE: Proposed New Cell Tower in Bloomington, IL
Applicant: Vertical Bridge (VB BTS III, LLC)
Address: 1106 INTERSTATE DR, Bloomington, IL 61705
Lat/Long Coordinates: 40.493992, -89.042547
Tower Design/Height: 155' Monopole Tower with 4' Lightning Rod attachment
VB Site ID: US-IL-5871 / VB Site Name: Bloomington West

To Whom it May Concern:

Vertical Bridge owns and operates hundreds of telecommunication towers across multiple states. Proper care of these critical facilities is of the utmost importance to Vertical Bridge and its customers.

While specific maintenance plans for each of these towers may differ depending upon such factors as tower type and design, site topography and conditions, and typical geographic weather patterns, there are some basic underlying processes and procedures that are applied to all of our towers:

Routine Facility Maintenance – Routine maintenance includes such actions as visual ground inspection of the facility, trash and debris removal, security confirmation, and weed abatement. The normal frequency of routine maintenance varies per each tower, but such frequency usually averages to one visit roughly every ninety days on an annualized basis.

Preventive Maintenance – Our customers and their agents conduct periodic preventive maintenance on their equipment which resides on our towers. Examples of this equipment include antennas, mounts and cables.

Point of contact for additional information is the undersigned below.

Respectfully,

Signed by:

B3CEEFD4E8B4492...
Vice President
9/24/2025

EXHIBIT G

In accordance with Section 44- 1037(E)(1)(a)

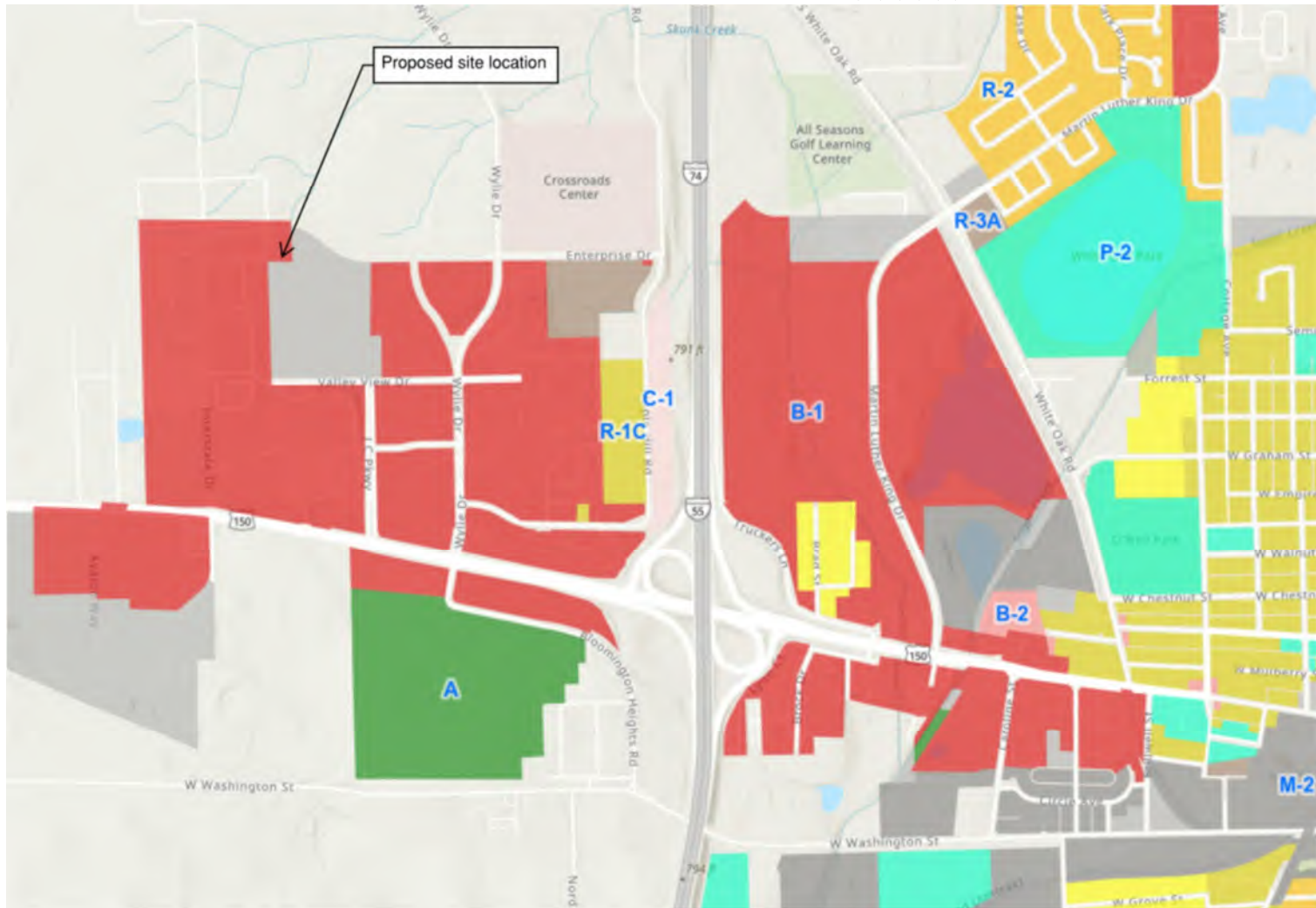




EXHIBIT H

As Required in Section 44- 1037(E)(2)(d)

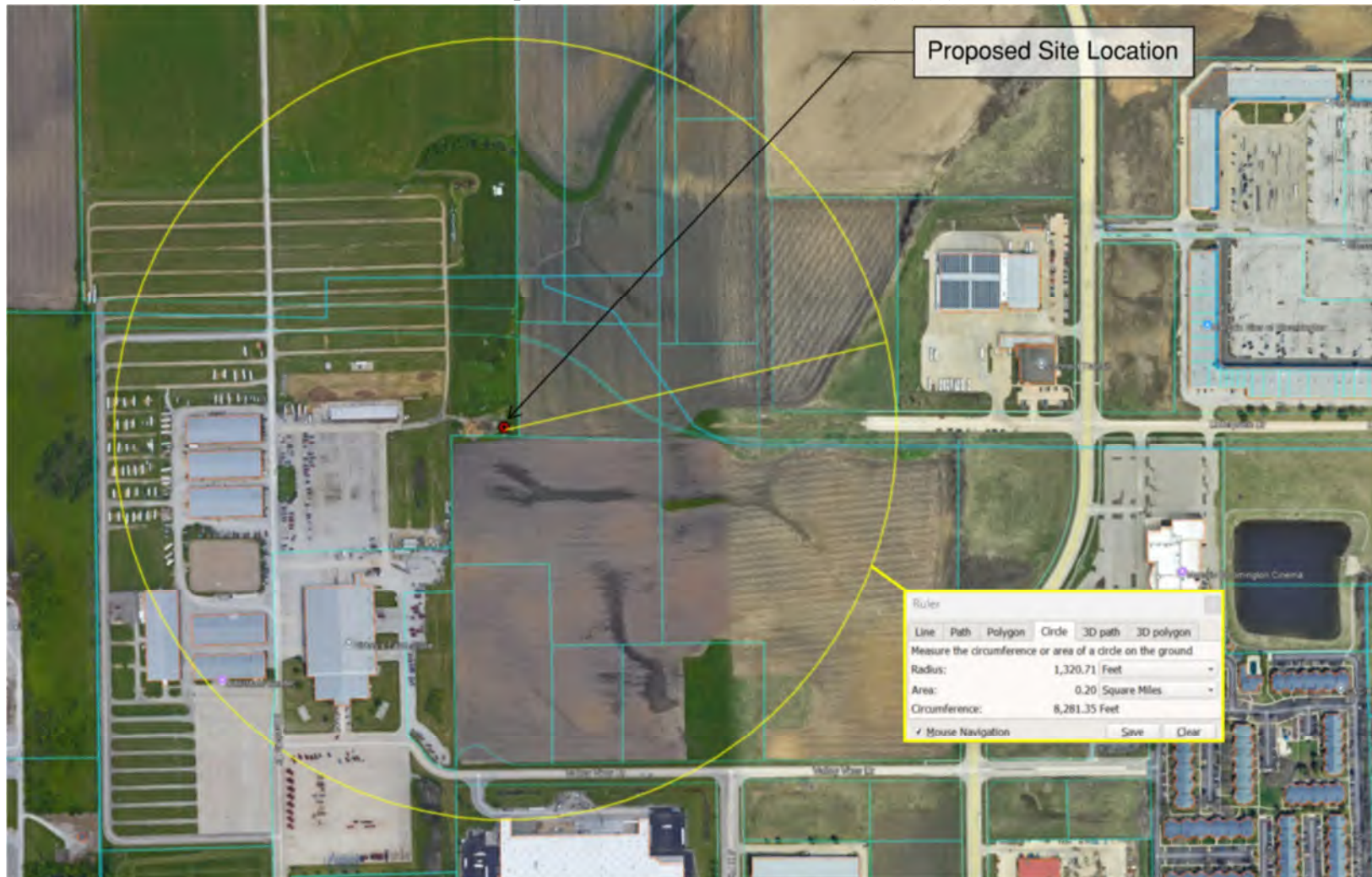


EXHIBIT I

Kimley»Horn

Expect More. Experience Better.

- SITE NAME: US-IL-5871 / BLOOMINGTON WEST
- T-MOBILE SITE #: CH99500C
- PROPOSED 155' MONOPOLE
(+4' LIGHTNING ROD) 159' OVERALL
- SITE ADDRESS: 1106 INTERSTATE DR, BLOOMINGTON, IL 61705
- TOWER LOCATION: 40°29'38.4"N 89°02'33.2"W

VISUAL IMPACT ANALYSIS



AERIAL MAP WITH PHOTO SIM LOCATIONS



- VIEW 1 – LOOKING WEST TOWARDS PROPOSED TOWER (Approx 2,152' from tower)
- VIEW 2 – LOOKING NORTHWEST TOWARDS PROPOSED TOWER (Approx 2,626' from tower)
- VIEW 3 – LOOKING NORTHEAST TOWARDS PROPOSED TOWER (Approx 2,532' from tower)

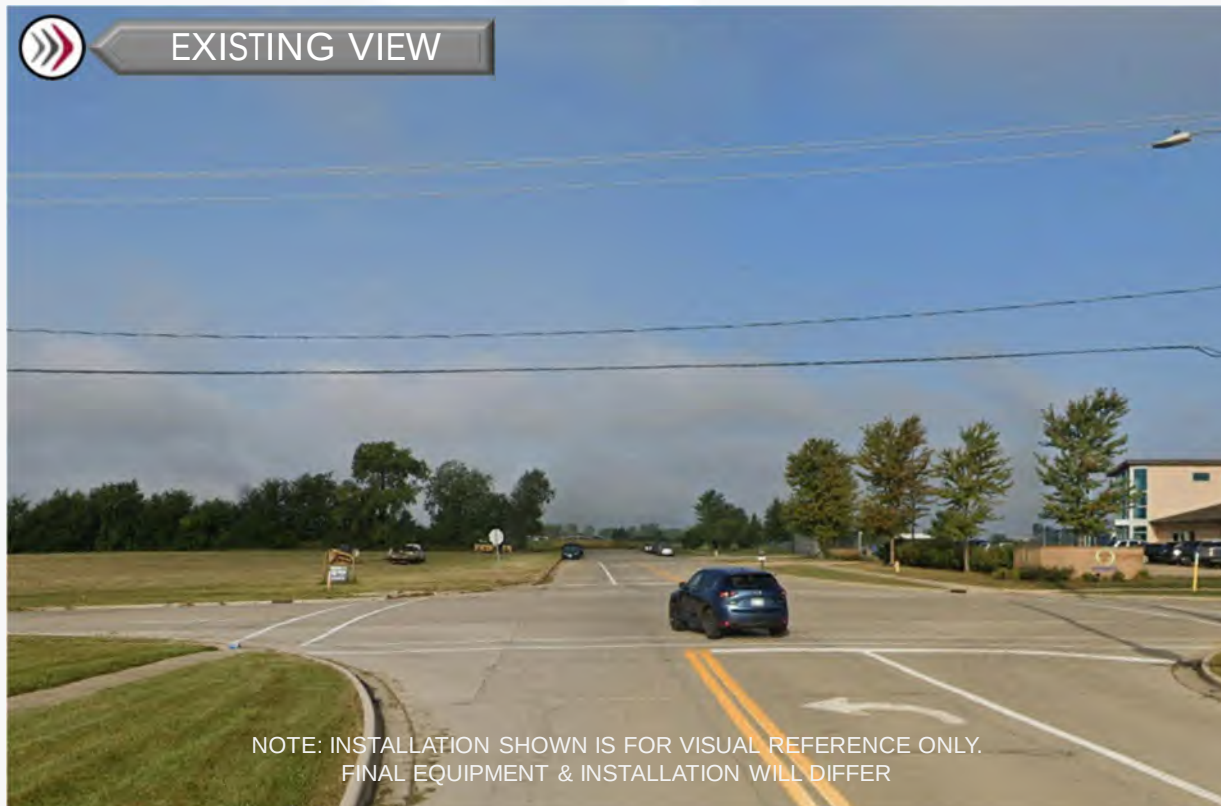
LOCATION 1
(EAST)

*LOOKING WEST
AT
PROPOSED SITE*

verticalbridge

T Mobile

Kimley»Horn





LOCATION 1
(EAST)

*LOOKING WEST
AT
PROPOSED SITE*

verticalbridge

T Mobile

Kimley»Horn

LOCATION 2
(SOUTHEAST)

*LOOKING NORTHWEST
AT
PROPOSED SITE*



verticalbridge

T Mobile

Kimley»Horn

LOCATION 2
(SOUTHEAST)

*LOOKING NORTHWEST
AT
PROPOSED SITE*

verticalbridge

T Mobile

Kimley»Horn





LOCATION 3 (SOUTHWEST)

*LOOKING NORTHEAST
AT
PROPOSED SITE*

verticalbridge

T Mobile

Kimley»Horn

LOCATION 3
(SOUTHWEST)

*LOOKING NORTHEAST
AT
PROPOSED SITE*

verticalbridge

T Mobile

Kimley»Horn

